



Board of Directors Meeting
Wednesday, February 9, 2022

Zoom/Board Room (Hybrid) – 3008 Fifth Avenue, Port Alberni, BC
1:30 pm

Regular Agenda

Watch the meeting live at www.acrd.bc.ca/events/9-2-2022/

Register to participate via Zoom Webinar at:

https://portalberni.zoom.us/webinar/register/WN_no3Zlw3CRAOI6uaeRHmwA

PAGE #

1. CALL TO ORDER

Recognition of Territories.

Notice to attendees and delegates that this meeting is being recorded and livestreamed to YouTube on the Regional District Website.

Introductions - Board Members and Staff present in the Boardroom.

- New Staff Members: T. Fong, CFO to introduce Kyle Ilett, Assistant Accountant and Amy Mayo, Asset Management & Grant Coordinator

2. APPROVAL OF AGENDA

(motion to approve, including late items required ALL VOTE 2/3 majority vote)

3. DECLARATIONS

(conflict of interest or gifts exceeding \$250 in value as per section 106 of the Community Charter)

4. ADOPTION OF MINUTES

(ALL/UNWEIGHTED)

a. Board of Directors Meeting – January 26, 2022

6-14

THAT the minutes of the Board of Directors meeting held on January 26, 2022, be adopted.

5. **PETITIONS, DELEGATIONS & PRESENTATIONS (10 minute maximum)**

- a. **Dave Hurwitz and Emily Fulton, Thornton Creek Enhancement Society regarding their report on Grant-in-Aid funds used to complete road repairs and a brief overview of the society's work in the region.**

6. **CORRESPONDENCE FOR ACTION**

7. **CORRESPONDENCE FOR INFORMATION**
(ALL/UNWEIGHTED)

- | | | |
|----|--|--------------|
| a. | DISTRICT OF STEWART | 15 |
| | BC Wildfires Petition – Letter of Support | |
| b. | ISLAND COASTAL ECONOMIC TRUST | 16-18 |
| | Art and Light Installation to Enhance Langford’s Central Core | |
| c. | ISLAND COASTAL ECONOMIC TRUST | 19-21 |
| | Shawnigan Village to Boost Connectivity Between Downtown Core and Lake | |
| d. | VILLAGE OF CUMBERLAND | 22-24 |
| | Bill C-216: A Health Based Approach to the Substance Use Act | |

THAT the Board of Directors receive items a-d for information.

8. **REQUEST FOR DECISIONS & BYLAWS**

- | | | |
|----|--|--------------|
| a. | REQUEST FOR DECISION | 25-26 |
| | Parcel Tax Roll Review Panel
(ALL/UNWEIGHTED) | |

THAT the Board of Directors:

- 1. Set the date for the Parcel Tax Roll Review Panel sitting for Monday, February 28, 2022 at 1:30pm via Zoom;*
- 2. Appoint three directors and one alternate director to the Parcel Tax Roll Review Panel;*
- 3. Appoint Teri Fong, CPA, CGA, Chief Financial Officer for the ACRD as the Collector for 2022.*

- | | | |
|----|--|--------------|
| b. | REQUEST FOR DECISION | 27-28 |
| | Appointment of Election Officers – 2022 General Local Election
(ALL/UNWEIGHTED) | |

THAT the Alberni-Clayoquot Regional District Board of Directors appoint Wendy Thomson to the position of Chief Election Officer and Heather Zenner to the position of Deputy Chief Election Officer for the purposes of organizing and conducting the 2022 general local election in the Alberni-Clayoquot electoral areas.

- c. **REQUEST FOR DECISION** **29-30**
Beaver Creek Volunteer Fire Department Self Contained Breathing
Apparatus Purchase
(ALL/UNWEIGHTED)

THAT the Alberni-Clayoquot Regional District (ACRD) Board of Directors exempt the purchase of 15 Self Contained Breathing Apparatus's (SCBA) from the ACRD's Purchasing Policy Request for Proposal process; and further,

THAT the Alberni-Clayoquot Regional District (ACRD) Board of Directors authorize staff to undertake a request for quotation process for this purchase and delegate authority to the Chief Administrative Officer to authorize the purchase, provided it's within the \$188,800.00 included in the 2022 budget for the Beaver Creek Volunteer Fire Department (BCVFD).

9. PLANNING MATTERS

9.1 ELECTORAL AREA DIRECTORS ONLY
(PARTICIPANTS/UNWEIGHTED)

- a. **RA21006, BADEN & PAKULA, 460 PACHENA ROAD (BAMFIELD)** **31-42**
Rezoning Application – Public Hearing Report, Public Hearing Minutes
and Bylaw P1435

THAT the Board of Directors receive the public hearing report;

THAT the Board of Directors receive the public hearing minutes;

THAT Bylaw P1435, Regional District of Alberni-Clayoquot Zoning Atlas Amendment Bylaw be read a second time;

THAT Bylaw P1435, Regional District of Alberni-Clayoquot Zoning Atlas Amendment Bylaw be read a third time.

- b. **DVC21002, HOWARD & MARTIN, 1145 FOURTH AVENUE, SALMON BEACH (LONG BEACH)** **43-46**
Development Variance Permit Application – Memorandum and Permit

THAT the Board of Directors issue development variance permit DVC21002.

- c. **DVC21005, SUBIN, 1185 SEVENTH AVENUE, SALMON BEACH (LONG BEACH)** **47-49**
Development Variance Permit Application – Memorandum and Permit

THAT the Board of Directors issue development variance permit DVC21005.

- d. **DVD21009, RONKAINEN, 10485 LAKESHORE ROAD (SPROAT LAKE)** **50-77**
Development Variance Permit Application – Report

THAT the Board of Directors consider issuing development variance permit DVD21009, subject to neighbouring properties being notified as per Local Government Act s.499.

- e. **TUP18013, COLLINGS, 8905 FABER ROAD (SPROAT LAKE)** **78-91**
Temporary Use Permit Renewal Application – Report

THAT the Board of Directors consider re-issuing Temporary Use Permit TUP18013 subject to neighbouring properties being notified as per Local Government Act s.494.

10. **REPORTS**

10.1 **STAFF REPORTS** (ALL/UNWEIGHTED)

- a. Traditional Territory acknowledgement signage in Alberni-Clayoquot Regional District public facilities. **92**

THAT the Board of Directors receives this report for information.

10.2 **COMMITTEE REPORTS**

10.3 **OTHER REPORTS**

11. **UNFINISHED BUSINESS**

12. **LATE BUSINESS**

13. **QUESTION PERIOD**

Questions/Comments from the public:

- Participating in Person in the Board Room
- Participating in the Zoom meeting
- Emailed to the ACRD at responses@acrd.bc.ca

14. **RECESS** (ALL/UNWEIGHTED)

Motion to recess the Regular Board of Directors Meeting in order to conduct the Regional Hospital District Meeting.

15. **RECONVENE**

16. IN CAMERA
(ALL/UNWEIGHTED)

Motion to close the meeting to the public as per the Community Charter, section(s):

- i. 90 (1) (j) information that is prohibited, or information that if it were presented in a document would be prohibited, from disclosure under section 21 of the Freedom of Information and Protection of Privacy Act;*
- ii. 21 (1) (c) (i) of FOIPPA: harm significantly the competitive position or interfere significantly with the negotiating position of the third party.*
- iii. 90 (2) (b) the consideration of information received and held in confidence relating to negotiations between the regional district and a provincial government or the federal government or both, or between a provincial government or the federal government or both and a third party.*

17. REPORT OUT - RECOMMENDATIONS FROM IN-CAMERA

18. ADJOURN
(ALL/UNWEIGHTED)

**Next Board of Directors Meeting: Wednesday, February 23, 2022, 1:30 pm
Regional District Board Room & Zoom**



Alberni-Clayoquot Regional District

MINUTES OF THE BOARD OF DIRECTORS MEETING HELD ON WEDNESDAY, JANUARY 26, 2022, 1:30 PM

Hybrid - Zoom/Board Room, 3008 Fifth Avenue, Port Alberni, BC

- DIRECTORS PRESENT:** John Jack, Chairperson, Councillor, Huu-ay-aht First Nation
John McNabb, Vice-Chairperson, Director, Electoral Area "E" (Beaver Creek)
Bob Beckett, Director, Electoral Area "A" (Bamfield)
Tanya Shannon, Director, Electoral Area "B" (Beaufort)
Kel Roberts, Director, Electoral Area "C" (Long Beach)
Penny Cote, Director, Electoral Area "D" (Sproat Lake)
Dianne Bodnar, Director, Electoral Area "F" (Cherry Creek)
Sharie Minions, Mayor, City of Port Alberni
Ron Corbeil, Councillor, City of Port Alberni
Rachelle Cole, Councillor, District of Ucluelet
Tom Stere, Councillor, District of Tofino
Kirsten Johnsen, Member of Council, Toquaht Nation
- REGRETS:** Wilfred Cootes, Councillor, Uchucklesaht Tribe Government
Alan McCarthy, Member of Legislature, Yuułu?if?ath Government
- STAFF PRESENT:** Daniel Sailland, Chief Administrative Officer
Teri Fong, Chief Financial Officer
Jenny Brunn, General Manager of Community Services
Wendy Thomson, General Manager of Administrative Services
Paulo Eichelberger, Solid Waste Manager
Eddie Kunderman, Operations Manager
Alex Dyer, Planning Manager
Janice Hill, Executive Assistant

The meeting can be viewed on the Alberni-Clayoquot Regional District website at:
<https://www.acrd.bc.ca/events/26-1-2022/> .

1. **CALL TO ORDER**

The Chairperson called the meeting to order at 1:30 pm.

The Chairperson recognized this meeting is being held throughout the Nuu-chah-nulth territories.

The Chairperson reported this meeting is being recorded and livestreamed to YouTube on the Regional District website.

Introductions – Directors and Staff present in the Boardroom.

The General Manager of Administrative Services introduced the Regional District’s new Communications Coordinator, Heather Thomson.

2. APPROVAL OF AGENDA

MOVED: Director Cote

SECONDED: Director McNabb

THAT the ACRD Board of Directors approve the Board agenda as circulated.

CARRIED

3. DECLARATIONS

4. ADOPTION OF MINUTES

a. Electoral Area Directors Committee Meeting – January 12, 2022

MOVED: Director Cote

SECONDED: Director McNabb

THAT the minutes of the Electoral Area Directors meeting held on January 12, 2022, be adopted in principle.

CARRIED

b. Board of Directors Meeting – January 12, 2022

MOVED: Director McNabb

SECONDED: Director Beckett

THAT the minutes of the Board of Directors meeting held on January 12, 2022, be adopted.

CARRIED

5. PETITIONS, DELEGATIONS & PRESENTATIONS

a. Inspector Eric Rochette, Officer in Charge, Mike Thompson, Staff Sergeant, Operations Supervisor, Port Alberni Detachment, RCMP regarding the Port Alberni RCMP Report for October to December 2021.

Inspector Rochette provided an overview of the quarterly policing statistics for the Port Alberni RCMP Detachment from October to December 2021, and 2021 calls for service in comparison to previous years.

6. CORRESPONDENCE FOR ACTION

7. CORRESPONDENCE FOR INFORMATION

- a. **UNION OF BRITISH COLUMBIA MUNICIPALITIES**
2020 Poverty Reduction Planning & Action Program Stream 1 – Building Regional Prosperity in the Alberni-Clayoquot Regional District (ACRD)
- b. **ISLAND COASTAL ECONOMIC TRUST**
Two New Strategies to Advance Internet Connectivity in Underserved Communities

MOVED: Director Cote
SECONDED: Director Roberts

THAT the Board of Directors receive items a-b for information.

CARRIED

8. REQUEST FOR DECISIONS & BYLAWS

- a. **Request for Decision regarding 2022 Standing/Select Committee Appointments & Appointments to Outside Organizations.**

MOVED: Director McNabb
SECONDED: Director Shannon

THAT the Alberni-Clayoquot Regional District (ACRD) Board of Directors approve the 2022 ACRD Standing/Select Committee Appointments and Appointments to Outside Boards, Agencies, and Commissions as presented and amended.

CARRIED

- b. **Request for Decision regarding Agricultural Development Committee - Updated Terms of Reference, 2022.**

MOVED: Director Shannon
SECONDED: Director Johnsen

THAT the Alberni-Clayoquot Regional District Board of Directors approve the updated terms of reference for the Agricultural Development Committee for 2022 as presented.

CARRIED

- c. **Request for Decision regarding Provincial Grant Threshold for Homeowner Grants.**

MOVED: Director McNabb
SECONDED: Director Shannon

THAT the Alberni-Clayoquot Regional District Board of Directors invite BC Assessment to be a delegation at an upcoming Board or Committee of the Whole meeting to provide an overview of the assessment process and to address the difference between assessments and appraisals.

CARRIED

d. Request for Decision regarding ICIP Grant Application – West Bamfield Submarine Transmission Line.

MOVED: Director Beckett
SECONDED: Director McNabb

THAT the Alberni-Clayoquot Regional District Board of Directors direct staff to submit an application for \$1,175,238 to fund the West Bamfield Submarine Transmission Line Replacement through the Investing in Canada Infrastructure Program (ICIP) – Green Infrastructure – Environmental Quality Grant.

CARRIED

e. Request for Decision regarding Award of West Coast Organic Processing Equipment Supply, Install and Support.

MOVED: Director Stere
SECONDED: Director Johnsen

THAT the Alberni Clayoquot Regional District (ACRD) Board of Directors award the Organic Processing Equipment, Installation and Support Services for Phase 2 of the Organics Diversion Project at the West Coast Landfill, to Transform Compost Systems, for the contract value of \$448,217.43 (excl. taxes); and further,

THAT the ACRD Board of Directors authorize the CAO to negotiate and execute the contract on behalf of the Regional District.

CARRIED

f. Request for Decision regarding AVICC Inter-Governmental Earth Week Challenge – April 2022.

MOVED: Director Roberts
SECONDED: Director Cote

THAT the ACRD Board of Directors authorize the participation of the ACRD in the Inter-Governmental Earth Week Challenge and continue the existing levels of

support to the local community groups for illegal dumping clean-up during Earth Week and throughout 2022.

CARRIED

9. PLANNING MATTERS

9.1 ELECTORAL AREA DIRECTORS ONLY

- a. DVA21011, POOL & CORTESE, STRATA LOT 63, HAGGARD COVE (BAMFIELD)**
Development Variance Permit Application – Report

MOVED: Director Beckett

SECONDED: Director Roberts

THAT the Board of Directors consider issuing development variance permit DVA21011, subject to neighbour notification as per Local Government Act s.499

CARRIED

- b. SA21005, 0924605 BC LTD., LOT 1, SOUTH BAMFIELD ROAD (BAMFIELD)**
Parcel Frontage Waiver Application – Memorandum

MOVED: Director Beckett

SECONDED: Director Cote

THAT the Board of Directors waive the 10% road frontage requirement for proposed Lots 6 and 7 as per subdivision plan of LOT 1 SECTION 18 TOWNSHIP 1 BARCLAY DISTRICT PLAN 38260 EXCEPT PART IN PLANS 45043, 46428, 47590 AND EPP63000.

CARRIED

- c. TUP21003, DONALDSON, 1360 SMITH-DALE ROAD, PORT ALBION (LONG BEACH)**

Temporary Use Permit Application – Memorandum and Permit

MOVED: Director Roberts

SECONDED: Director Beckett

THAT the Board of Directors consider issuing Temporary Use Permit TUP21003 subject to neighbour notification as per Local Government Act s.494.

CARRIED

- d. MISC21003, SPROAT LAKE MARINA, 10412 LAKESHORE ROAD (SPROAT LAKE)**
Covenant Amendment Application – Memorandum

MOVED: Director Cote

SECONDED: Director McNabb

THAT the Board of Directors direct staff to hold a public meeting to gather input on the amendment of Restrictive Covenant FB194076 to allow for a maximum of sixteen (16) dwelling units north of Lakeshore Road on the property located at 10412 Lakeshore Road and that the public meeting be delegated to the Director for Electoral Area 'D', the Alternate Director, or the Chairperson of the Regional District.

CARRIED

- e. **DVE21010, FRANCOEUR, 6081 & 6091 BEAVER CREEK ROAD (BEAVER CREEK)**
Development Variance Permit Application – Report

MOVED: Director McNabb

SECONDED: Director Shannon

THAT the Board of Directors consider issuing development variance permit DVE21010, subject to neighbour notification as per Local Government Act s.499.

CARRIED

- f. **SE21003, FRANCOEUR, 6081 & 6091 BEAVER CREEK ROAD (BEAVER CREEK)**
Parcel Frontage Waiver Application – Memorandum

MOVED: Director McNabb

SECONDED: Director Shannon

THAT the Board of Directors waive the 10% road frontage requirement for proposed Lot 1 as per subdivision plan of LOT A, PLAN VIP77219 and part of LOT 5, PLAN 910, EXCEPT THE RIGHT OF WAY OF THE E & N RAILWAY COMPANY, AS SHOWN COLOURED RED ON PLAN 66 RW, ALL OF DISTRICT LOT 88, ALBERNI DISTRICT.

CARRIED

- g. **SE21012, MONRUFET, 5598 KITSUKSIS ROAD (BEAVER CREEK)**
Parcel Frontage Waiver Application – Memorandum

MOVED: Director McNabb

SECONDED: Director Cote

THAT the Board of Directors waive the 10% road frontage requirement for proposed Lot 1 as per subdivision plan of BLOCK 7, DISTRICT LOT 20, ALBERNI DISTRICT, PLAN 894.

CARRIED

The meeting recessed at 2:54 pm
The meeting re-convened at 3:06 pm

10. REPORTS

10.1 STAFF REPORTS

- a. Meeting Schedule – February 2022
- b. Building Report- December 2021
- c. Monthly Agreement & Grant Delegation Report – January 21, 2022
- d. West Coast Transit Service Implementation Delay

MOVED: Director Roberts

SECONDED: Director Beckett

THAT the Board of Directors receives the staff reports a-d.

CARRIED

10.2 COMMITTEE REPORTS

10.3 MEMBER REPORTS

- a. 9-1-1 Corporation – J. McNabb – No Report
- b. Vancouver Island Regional Library – P. Cote – No Report
- c. Alberni Valley Chamber of Commerce – S. Minions

Director Minions provided a brief update on the Alberni Valley Chamber of Commerce. The board is currently working on updating their strategic plan.

- d. Air Quality Council, Port Alberni – D. Bodnar – No Report
- e. West Coast Aquatic Board – T. Stere – No Report
- f. Association of Vancouver Island & Coastal Communities – P. Cote

Director Cote reported that Director Roberts will be putting his name forward for consideration of nomination to the AVICC board, electoral area director position. The deadline for nominations and resolution submissions is this Friday.

Director Minions reported the City of Port Alberni has put forward two resolutions for consideration at the annual convention. One respecting cannabis odors, requesting Health Canada to deal with complaints and take off the plate of local government. The other around affordable and supportive housing.

- g. Beaver Creek Water Advisory Committee – J. McNabb – No Report
- h. West Island Woodlands Advisory Group – J. Jack – No Report
- i. Agricultural Development Committee – T. Shannon

Director Shannon reported on the Committee meeting held on January 11th. They have a few new members on the Committee and the new Regional District CAO, Daniel Sailland joined their meeting. The main topic of discussion was the Island Agricultural Conference that has been postponed due to the COVID variant. The show may be re-scheduled in July 2022.

j. Other Reports

- **Alberni Valley Museum and Heritage Commission Minutes – December 5, 2021**

MOVED: Director Cole

SECONDED: Director Shannon

THAT the Board of Directors receive the Member Reports.

CARRIED

11. UNFINISHED BUSINESS

12. LATE BUSINESS

13. QUESTION PERIOD

Questions/Comments from the public. The Corporate Officer advised there were no questions or comments respecting an agenda topic from public:

- Participating in Person in the ACRD Board Room
- Participating in the Zoom webinar
- Submissions received by email at responses@acrd.bc.ca.

14. IN-CAMERA

MOVED: Director Jack

SECONDED: Director Roberts

THAT the meeting be closed to the public as per the Community Charter, sections:

- 90 (2) (b) the consideration of information received and held in confidence relating to negotiations between the regional district and a provincial government or the federal government or both, or between a provincial government or the federal government or both and a third party;*
- 90 (1) (f) law enforcement, if the board considers that disclosure could reasonably be expected to harm the conduct of an investigation under or enforcement of an enactment;*
- 90 (1) (j) information that is prohibited, or information that if it were presented in a document would be prohibited, from disclosure under section 21 of the Freedom of Information and Protection of Privacy Act;*
- 21 (1) (c) (i) of FOIPPA: harm significantly the competitive position or interfere significantly with the negotiating position of the third party.*

CARRIED

The meeting was closed to the public at 3:23 pm.

The meeting was re-opened to the public at 3:45 pm.

15. REPORT OUT – RECOMMENDATIONS FROM IN-CAMERA

The following resolutions from the in-camera portion of the Board of Directors meeting were reported out in open meeting:

The Alberni-Clayoquot Regional District Board of Directors awarded the Alberni-Clayoquot Health Network Coordinator contract to Marcie DeWitt for a cost of \$80,000 annually for a three-year term commencing February 1, 2022.

The Alberni-Clayoquot Regional District Board of Directors delegated authority to the CAO to negotiate and enter into a three (3) year contract with Kenneth Brett and Lynn Brett for the Alberni Valley Regional Airport Caretakers Services, in the amount of \$20,400.00 per year.

16. ADJOURN

MOVED: Director Roberts

SECONDED: Director Shannon

THAT this meeting be adjourned at 3:45 pm.

CARRIED

Certified Correct:

John Jack,
Chairperson

Wendy Thomson,
General Manager of Administrative Services



DISTRICT OF STEWART

Office of the Mayor

January 28, 2022

Mr. Taylor Bachrach, MP for Skeena-Bulkley Valley
House of Commons
Ottawa, Ontario K1A 0A6

sent via email to: Taylor.Bachrach@parl.gc.ca

Dear Mr. Bachrach,

Re: BC Wildfires Petition – Letter of Support

Council considered correspondence from the District of Lillooet at the January 24, 2022 Regular Council Meeting, and made a resolution to support the community's BC Wildfires Petition.

The BC Wildfires petition that was previously sent to BC Municipalities from the District of Lillooet, is addressed to the Government of Canada and asks for the Government of BC and Canada to empower local persons, those working with licensees, industry and contractors, Indigenous communities, ranchers and workers such as fire fighters, forestry workers, and all those that see the day-to-day issues and have front line knowledge to provide feedback on the inconsistencies and shortcomings with regard to forest management and wildfire prevention in order to help bring about much-needed change.

Inspired by the Ontario government who assembled an 'All Hazards Agency' that employs people to manage fire, flood and slides, we believe that BC needs this type of agency as well.

We support the District of Lillooet's belief that impacts to lumber prices and job availability, mill closures, current and future mudslides, damage to critical habitat, and house insurance increases are trickle effects that will continue to have detrimental effects on BC's future if we do not make necessary changes to current forest practice procedures.

Consequently, the District of Stewart calls upon the Provincial and Federal Governments to provide better forest management and wildfire protection by assessing the current policies and guidelines to enhance those that are working to re-evaluate and change those that are not.

We respectfully request that you present our letter supporting the District of Lillooet's BC Wildfires petition to the Clerk of Petitions and upon receiving certification, to the House of Commons.

On behalf of Council, thank you for your consideration of this request.

Sincerely,

Gina McKay
Mayor
District of Stewart

Cc: Hon. Nathan Cullen, MLA for Stikine
District of Lillooet
Councils of BC Communities



ART AND LIGHT INSTALLATION TO ENHANCE LANGFORD'S CENTRAL CORE

Latest THRIVE project supports innovative artistic elements to encourage increased vitality

COURTENAY, 25 January 2022 – Three interactive mural and lighting installations will be added to a City of Langford Station Avenue Revitalization Plan to energize and animate an under-used section of their downtown core, thanks to a \$25,000 grant from the THRIVE Small Capital Program.

Each of the three murals will focus on the area's train history, the local Indigenous culture and the arts, and will be designed to allow viewers to become part of the mural experience. Options for the lighting installations will feature a singing tree, an interactive drum organ and an immersive tunnel.

“Throughout the pandemic we heard from the regional tourism organizations that they needed investment to support regional projects. THRIVE Small Capital is an excellent example of how tourism infrastructure will support projects that showcase more of what the region has to offer, strengthen community connection and experiences, plus create jobs,” said Melanie Mark, Minister of Tourism, Arts, Culture and Sport. “Langford’s new arts and light installation in its downtown core is an innovative example of how communities are using their ingenuity following the pandemic to build back stronger.”

The light installations will engage people through a variety of interactions. Lights

installed in an existing tree will change colour in response to surrounding voices (or singing) and movement. An organ made of tubes of light will emit changing sounds and light patterns when users touch a keyboard pad. A piano synched with strings of lights erected in the shape of a tent or tunnel will create beautiful light movements and colour patterns when played.

“The City of Langford is grateful for the support of the THRIVE project funding contributing to the interactive lighting components of the Station Avenue revitalization project. We are excited to bring this dynamic cultural precinct to downtown Langford next Spring for residents and visitors to enjoy,” says City of Langford Mayor, Stew Young.

The project, located along Station Avenue between Peatt Road and Veteran’s Memorial Parkway, will provide an inclusive, welcoming, and accessible location for impromptu gatherings and organized events.

“The Station Avenue revitalization project adds another all-season visitor and resident attraction to this commercial area,” says Anthony Everett, President & CEO, Tourism Vancouver Island. “The proposed Station Avenue revitalization plans will create engaging day and night gathering places, business incubator opportunities for local entrepreneurs, and event space in a safe, outdoor, accessible and inclusive location.”

The overall project proposes artist pop-ups, business stands, food trucks with al fresco dining options, entertainment on the performance stage, a restored train station, a fenced dog park, a performance stage, and parking.

“We are delighted to see how communities are finding new ways to elevate public spaces in alignment with their community assets, history and culture,” says Line Robert, ICET CEO.

The THRIVE Small Capital Program was launched in late May through the Targeted Regional Tourism Development Initiative to help stimulate and promote vitality in downtowns, Main Streets and business districts across the region. One-

stop funding support of up to 100% of eligible project costs is available thanks to a joint collaboration with the Island Coastal Economic Trust, Tourism Vancouver Island (TVI) and the Vancouver, Coast & Mountains tourism region (managed by Destination BC).

All applications to the THRIVE Small Capital Funding Stream will now be accepted on an ongoing basis until the program is fully subscribed.

For more information on the THRIVE Small Capital Funding Stream, please visit our website: www.islandcoastaltrust.ca

###

About the Island Coastal Economic Trust

Created and capitalized by the Province of BC in 2006, the Island Coastal Economic Trust (ICET) mission is to create a more diverse and globally competitive Island and Coastal economy. In partnership with local and regional governments, non-profits and Indigenous communities, ICET serves over half a million residents. Funding and support for economic infrastructure and other economic diversification initiatives is delivered through a unique community centered decision-making process. Since inception, ICET has approved more than \$55 million in funding for over 280 initiatives. These investments have leveraged over \$270 million in new investment into the region creating more than 2600 construction phase jobs and 2750 long-term permanent jobs.

For further information:

[Hilary Muth](#), Communications Coordinator
Island Coastal Economic Trust
Tel. 250-871-7797 (Ext. 228)



SHAWNIGAN VILLAGE TO BOOST CONNECTIVITY BETWEEN DOWNTOWN CORE AND LAKE

New lakeside outdoor seating areas and public art will expand visitor options

COURTENAY, 28 January 2022 – Four lakeview seating areas, public art, and cycling infrastructure will enhance connectivity between Shawnigan’s village centre and nearby lakeshore, with funding support from the THRIVE Small Capital Program.

This project represents the first phase in a comprehensive plan to develop the Village as a complete community, create a vibrant tourism sector, and revitalize the small business core. Connectivity between the village and the lakeside walking/cycling trail was identified as a priority through a robust engagement process initiated in 2019 and updated during the pandemic.

“Projects that enhance accessibility and walkability, while creating more ways to gather outdoors, help communities boost resiliency during and post-pandemic,” says ICET Board Chair Aaron Stone. “These improvements will also support year-round visitor and local activity, which is a key aspect of the THRIVE Program.”

Funding will be used to create four distinct seating and viewscape sites along the ‘all ages and abilities’ waterfront Rail Trail park area adjacent to the Shawnigan Village commercial core. Outdoor seating will consist of colourful benches, tables and chairs, which will be coordinated across each site to symbolically connect the four viewing portals.

“Shawnigan Lake is a popular summer destination with expanding shoulder season

potential thanks to upgrades to walking and cycling infrastructure, and nearby attractions such as the Kinsol Trestle and Malahat SkyWalk,” says Anthony Everett, President & CEO, Tourism Vancouver Island. “The integrated viewpoint approach will resonate with visitors and locals alike.”

The funding will also be used to acquire unique and artistically designed bicycle racks, which will function as public art, and will improve cycling access to the Village. The project team will work with the Cowichan South Arts Guild, First Nations and CVRD Parks Division staff to review design options for sculptural bike racks which represent the community and history of the Village.

“The outdoor amenity space will allow for visitors and customers in the Village to stroll a block to the lakeside after purchasing food from local vendors where they can sit comfortably outside and enjoy the view of our beautiful lake,” says Garry Horwood, President of the Shawnigan Residents Association. “These small improvements will build momentum and support for further implementation of the Shawnigan Village Plan.”

The project is set to get underway shortly.

The THRIVE Small Capital Program was launched in late May to help stimulate and promote vitality in downtowns, Main Streets and business districts across the region. One-stop funding support of up to 100% of eligible project costs is available thanks to a collaboration with the Island Coastal Economic Trust, Tourism Vancouver Island (TVI) and the Vancouver, Coast & Mountains tourism region (managed by Destination BC).

All applications to the THRIVE Small Capital Funding Stream are now accepted on an ongoing basis until the program is fully subscribed.

For more information on the THRIVE Small Capital Funding Stream, please visit our website: www.islandcoastaltrust.ca

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For further information:

[Hilary Muth](#), Communications Coordinator
Island Coastal Economic Trust
Tel. 250-871-7797 (Ext. 228)

OFFICE OF THE MAYOR



January 28, 2022

File No. 0400-60

Dear UBCM Member Municipalities,

I am reaching out to local governments in British Columbia to urge your support for Private Members Bill C-216, Health-Based Approach to the Substance Use Act, which has received first reading in the House of Commons.

The proposed Act would amend the Controlled Drugs and Substances Act and enact the Expungement of Certain Drug-related Convictions Act and the National Strategy on Substance Use Act. Under Bill C-216, the National Strategy proposes to:

- (a) address the harm associated with the criminalization of substance use;
- (b) ensure that interventions are founded on evidence-based best practices and address the root causes of problematic substance use;
- (c) ensure low-barrier access to a safe supply of medically regulated substances;
- (d) provide universal access to recovery, treatment and harm reduction services for problematic substance use and substance use disorder, including overdose prevention services, relapse prevention services and supervised consumption sites and services;
- (e) implement evidence-based prevention programs that address social and economic factors that contribute to problematic substance use; and
- (f) reduce the stigma associated with substance use, including through outreach and public awareness programs.

Cumberland Council has expressed its support for Bill C-216 to Prime Minister Trudeau and to the Minister of Health and Addictions Carolyn Bennett and I would encourage your Council or Board to do the same in an effort to finally secure Federal aid on decriminalization, safe supply and access to recovery, treatment and harm reduction services.

Yours sincerely,

A handwritten signature in black ink, appearing to read "Leslie Baird".

Leslie Baird
Mayor

OFFICE OF THE MAYOR



January 28, 2022

File No. 0400-40

The Honourable Carolyn Bennett, P.C., M.P.
Minister of Health and Addictions
Carolyn.Bennett@parl.gc.ca

Dear Minister,

I am very pleased to be able to write to you in support of the Private Members Bill C-216, Health-based Approach to the Substance Use Act, which received first reading on December 15, 2021 and which is sponsored by Gord Johns, Member of Parliament for Courtenay-Alberni.

The Council of the Village of Cumberland endorses the National Strategy to address the harm associated with the criminalization of substance use and to ensure that interventions are founded on evidence-based best practices to address the root causes of problematic substance use.

In 2016, harm reduction was restored as a key pillar of Canada's drug strategy with the establishment of the Canadian Drug and Substances Strategy, however further measures are needed to protect the lives of Canadians. I trust that you will support Bill C-216 in order to provide federal aid on decriminalization, safe supply and access to recovery, treatment and harm reductions services.

Yours sincerely,

A handwritten signature in black ink, appearing to read "L Baird".

Leslie Baird
Mayor

OFFICE OF THE MAYOR



January 28, 2022

File No. 0400-40

The Right Honourable Justin Trudeau, P.C., M.P.
Prime Minister of Canada
Justin.Trudeau@parl.gc.ca

Dear Prime Minister,

I am very pleased to be able to write to you in support of the Private Members Bill C-216, Health-based Approach to the Substance Use Act, which received first reading on December 15, 2021 and which is sponsored by Gord Johns, Member of Parliament for Courtenay-Alberni.

The Council of the Village of Cumberland endorses the National Strategy to address the harm associated with the criminalization of substance use and to ensure that interventions are founded on evidence-based best practices to address the root causes of problematic substance use.

In 2016, harm reduction was restored as a key pillar of Canada's drug strategy with the establishment of the Canadian Drug and Substances Strategy, however further measures are needed to protect the lives of Canadians. I trust that you will support Bill C-216 in order to provide federal aid on decriminalization, safe supply and access to recovery, treatment and harm reductions services.

Yours sincerely,

A handwritten signature in black ink, appearing to read "L Baird".

Leslie Baird
Mayor



REQUEST FOR DECISION

To: Board of Directors
From: Teri Fong, CPA, CGA, Chief Financial Officer
Meeting Date: February 9, 2022
Subject: Parcel Tax Roll Review Panel

Recommendation:

That the Board of Directors:

1. Set the date for the Parcel Tax Roll Review Panel sitting for **Monday, February 28, 2022 at 1:30pm** via Zoom;
2. Appoint three directors and one alternate director to the Parcel Tax Roll Review Panel;
3. Appoint Teri Fong, CPA, CGA, Chief Financial Officer for the ACRD as the Collector for 2022.

Desired Outcome:

To hold a Review Panel to update the Parcel Tax Roll for 2022.

Summary:

The ACRD operates several services in which bylaws have been adopted authorizing the collection of a parcel tax. These include:

- Beaver Creek Water System
- Sproat Lake Community Association
- South Long Beach Multi-Purpose Path
- Bamfield Water System
- Bamfield Water System – Treatment Plant Debt
- Salmon Beach Garbage
- Salmon Beach Power
- Salmon Beach Security
- Salmon Beach Sewage
- Salmon Beach Recreation
- Salmon Beach Transportation
- Salmon Beach Water

The ACRD must prepare and authenticate the parcel tax assessment rolls each year before February 28. As there are no new parcel taxes in 2022 the tax roll only requires an update but this must still be done by a Parcel Tax Roll Review Panel sitting. The Regional District is required to appoint at least three people to sit on the review panel and set the date, time and place of the sitting. Due to the COVID-19 pandemic, the Panel sitting will be held via Zoom videoconferencing with an opportunity for the public to participate in the meeting.

Owners of properties located in the rural areas of the ACRD have been able to book an appointment to view the roll since February 1, 2022 at the Regional District office in Port Alberni during regular office hours. Advertisements were placed in the AV News, Westerly and Bamfielder to notify the public of the process to update the parcel tax roll.

In 2021 there were a few subdivisions that created new parcels for the roll. In order to comply with the Community Charter requirements for public notice, the ACRD issued parcel tax assessment notices to these property owners to notify them of their inclusion in the parcel tax roll.

As per Section 205 of the Community Charter, a person may make a complaint to the parcel tax roll review panel for the following:

- a. There is an error or omission respecting a name or address on the assessment roll;
- b. There is an error or omission respecting the inclusion of a parcel;
- c. An exemption has been improperly allowed or disallowed.

In order for a request to be considered by the panel, it must be made in writing and received at the ACRD office at least 48 hours prior to the sitting of the Parcel Tax Roll Review Panel. The complaints received will be reviewed by the collector and those that qualify under the above criteria, will be added to the Parcel Tax Roll Review Panel meeting agenda for consideration by the panel. Any complaints regarding the amount of the various parcel taxes is not for consideration by the parcel tax roll review panel.

Once the parcel tax roll has been authenticated by the panel members, the parcel tax data is sent electronically to the Surveyor of Taxes. The Province will then include the parcel tax on the rural property tax notices that they issue each May to all rural property owners. The Province is responsible for collection of the parcel taxes on behalf of the ACRD and remits the funds collected to the ACRD in August each year.

Time Requirements – Staff & Elected Officials:

Updating the Parcel Tax Roll does require some staff time each year based on the requirements of the Community Charter. A limited amount of elected officials' time will also be required to conduct the Review Panel sitting.

Strategic Plan Implications:

Not applicable.

Policy or Legislation:

Part 7, Division 4 – Parcel Taxes of the Community Charter applies.

Submitted by: Teri Fong
Teri Fong, CPA, CGA, Chief Financial Officer

Reviewed by: Wendy Thomson
Wendy Thomson, General Manager of Administrative Services

Approved by: Daniel Sailland
Daniel Sailland, MBA, Chief Administrative Officer



REQUEST FOR DECISION

To: ACRD Board of Directors

From: Wendy Thomson, General Manager of Administrative Services

Meeting Date: February 9, 2022

Subject: **Appointment of Election Officers – 2022 General Local Election**

Recommendation:

THAT the Alberni-Clayoquot Regional District Board of Directors appoint Wendy Thomson to the position of Chief Election Officer and Heather Zenner to the position of Deputy Chief Election Officer for the purposes of organizing and conducting the 2022 general local election in the Alberni-Clayoquot electoral areas.

Desired Outcome:

To appoint a chief and deputy chief election officer to organize and conduct the election of electoral area Directors in the Alberni-Clayoquot region.

Summary:

General local elections are held every four years on the third Saturday in October. This year, the election will be held on **Saturday, October 15, 2022.**

Background:

For the purposes of conducting an election, local governments must appoint a chief election officer and a deputy chief election officer to ensure election are run in accordance with the *Local Government Act*.

The chief election officer and deputy are responsible for administering all aspects of the election. Election officials should be appointed early in the election year to guide the election process from start to finish.

The chief election officer is responsible for overseeing all local election administration activities, such as:

- Receiving candidate nomination forms
- Declaring the candidates running for office
- Setting up voting opportunities for qualified electors
- Counting votes on general voting day
- Declaring the election results

The chief election officer is also responsible for training the deputy chief election officer and all other election officials required to conduct the general local election.

The chief election officer may be a senior local government employee, such as the corporate officer, or a private contractor hired to conduct the election on the local government’s behalf. Regional District staff recommend that the Alberni-Clayoquot Regional District (ACRD) Board of Directors appoint senior staff to conduct the 2022 election as in previous years. ACRD senior staff have extensive knowledge of the region and experience organizing and running general local elections.

School District Trustee Election

Elections of trustees are conducted every 4 years on the 3rd Saturday in October, the same as local government elections. Elections are conducted in accordance with the *School Act* and the *Local Government Act*. The *School Act* requires that a municipality and/or regional district must conduct trustee elections.

As School District #70 has the same boundaries as the ACRD, the Regional District, by way of an agreement, conducts School District #70 trustee elections on their behalf in conjunction with ACRD elections.

The School District Board will be required to pass a resolution appointing the ACRD’s Chief and Deputy Chief Election Officer in order to conduct trustee elections on their behalf in conjunction with ACRD elections.

All costs associated with running trustee elections are paid for by the School District. Cost sharing of advertising etc. is conducted where possible.

Time Requirements – Staff & Elected Officials:

Substantial staff time is required to organize and conduct elections in the ACRD’s six electoral areas.

Financial:

Funded through the Electoral Area Administration budget. The approximate cost to conduct elections in the six electoral areas is \$80,000.00. Regional District staff factored in additional costs for barriers, etc. if we are still in a pandemic during the election. Staff have also increased the cost for managing mail ballot voting. Legislative changes now allow any eligible voter to vote by mail in and election. Addition resources will be required to manage mail ballot voting.

Strategic Plan Implications:

n/a

Policy or Legislation:

Section 58 of *Local Government Act* applies.

Submitted by: Wendy Thomson
Wendy Thomson, General Manager of Administrative Services

Approved by: Daniel Sailland
Daniel Sailland, MBA, Chief Administrative Officer



REQUEST FOR DECISION

To: Alberni-Clayoquot Regional District Board of Directors
From: Charlie Starratt, Regional Fire Services Manager/Shane Koren, Procurement Coordinator
Meeting Date: February 9, 2022
Subject: Beaver Creek Volunteer Fire Department Self Contained Breathing Apparatus Purchase

Recommendation:

THAT the Alberni-Clayoquot Regional District (ACRD) Board of Directors exempt the purchase of 15 Self Contained Breathing Apparatus's (SCBA) from the ACRD's Purchasing Policy Request for Proposal process; and further,

THAT the Alberni-Clayoquot Regional District (ACRD) Board of Directors authorize staff to undertake a request for quotation process for this purchase and delegate authority to the Chief Administrative Officer to authorize the purchase, provided its within the \$188,800.00 included in the 2022 budget for the Beaver Creek Volunteer Fire Department (BCVFD).

Desired Outcome:

To purchase 15 new SCBA's that meet and maintain compatibility requirements with local fire departments.

Summary:

The BCVFD has \$188,800.00 budgeted in 2022 for 15 new SCBA's. Staff have considered purchasing options and believe this purchase is necessary to the operation of the BCVFD.

The ACRD's normal purchasing process, with items of this value, is to issue a Request for Proposals (RFP) or Tender and accept bids based on the criteria set out in the RFP or Tender document as outlined in the ACRD's Purchasing Policy. The RFP process is intended to receive a variety of proposals and open up competition. Due to the small number of potential vendors, ACRD staff believe issuing a Request for Quotation (RFQ) will ensure an efficient bid process.

The RFQ process is appropriate in situations, such as this, where the product that is being procured is specific and all that is unknown is the price. Under this process, staff will reach out directly to known suppliers and request a quote. This is different from an RFP process which is used when the product is not specific and there are other factors other than price that need to be considered other than price. The RFP process also involves advertising costs and tends to take longer as the process is more complicated. In this situation, no additional value is anticipated from completing an RFP process.

Staff are proposing that the ACRD issue an RFQ, in accordance with the New West Partnership Trade Agreement (NWPTA). In order to proceed with this approach, the Board needs to exempt this acquisition from the ACRD's Purchasing Policy and delegate authority to the CAO to complete the purchase.

Time Requirements – Staff & Elected Officials:

Moderate staff time will be required to draft an RFQ and review the received quotes.

Financial:

The 2021 ACRD financial plan has \$188,800.00 budgeted for the purchase of 15 SCBA’s in 2022.

Strategic Plan Implications:

No strategic plan initiatives are applicable to this decision.

Policy or Legislation:

ACRD’s Purchasing Policy states that all purchases over \$35,000 are to be conducted with a Tender or Request for Proposal process. Exempting this purchase from this requirement would not be in violation of any trade agreements as the purchase will be procured through an RFQ in accordance with the NWPTA guidelines.

Options Considered:

If the Board is not comfortable with exempting this purchase from the ACRD’s Purchasing Policy, then staff can proceed with an RFP process.

Submitted by: Charlie Starratt
Charlie Starratt, Regional Fire Services Manager

Shane Koren
Shane Koren, Procurement Coordinator

Reviewed by: Wendy Thomson
Wendy, Thomson, General Manager of Administrative Services

Approved by: Daniel Sailland
Daniel Sailland, MBA, Chief Administrative Officer



ALBERNI-CLAYOQUOT REGIONAL DISTRICT

3008 Fifth Avenue, Port Alberni BC, CANADA V9Y 2E3

Telephone (250) 720-2700 Fax (250) 723-1327

MEMORANDUM

To: ACRD Board of Directors
From: Mike Irg, General Manager of Planning & Development
Meeting Date: February 9, 2022
Subject: Public Hearing Report for Bylaw P1435
RA21006 – 460 Pachena Road (Baden & Pakula)

Recommendation:

THAT the Board of Directors receive the public hearing report.

THAT the Board of Directors receive the public hearing minutes.

THAT Bylaw P1435, Regional District of Alberni-Clayoquot Zoning Atlas Amendment Bylaw be read a second time.

THAT Bylaw P1435, Regional District of Alberni-Clayoquot Zoning Atlas Amendment Bylaw be read a third time.

Background:

A public hearing for Bylaw P1435 was held electronically using Zoom on Monday, February 1, 2022 at 7:00 pm. The hearing was chaired by Bob Beckett, Director for Electoral Area 'A' – Bamfield. ACRD staff Mike Irg, Kathy McArthur and Cheryl Knapp participated in the hearing along with the applicants and two (2) members of the public. Included with the public hearing minutes are the referral agency comments (Appendix 'A'), a letter from the Huu-ay-aht First Nations regarding sewage disposal (Appendix 'B'), and one (1) letter of public correspondence received prior to the public hearing (Appendix 'C').

The property owner is applying to rezone their 1.57 hectare (3.39 acre) property located 460 Pachena Road from Rural (A2) District to Acreage Residential (RA3) District in order to facilitate a three (3) lot subdivision with a 0.6 acre minimum lot size noting the zoning permits for up to five (5) lots on this property.

Planning staff recommend that the Board of Directors receive the public hearing report and proceed with second and third readings of Bylaw P1435 as presented.

Submitted by: *K. McArthur*
Kathy McArthur, Planning Assistant

Reviewed by: *Michael Irg*
Mike Irg MCIP, RPP
GM of Planning and Development

Approved by: *Daniel Sailland*
Daniel Sailland, MBA
Chief Administrative Officer

RA21006



REGIONAL DISTRICT OF ALBERNI-CLAYOQUOT PUBLIC HEARING MINUTES February 1, 2022 – ELECTORAL AREA 'A'

Minutes of a Public Hearing held electronically using Zoom, on Tuesday, February 1, 2022 at 7:00 pm.

Chair: Bob Beckett, Director for Electoral Area 'A' – Bamfield
Staff: Mike Irg, Kathy McArthur, Cheryl Knapp
Applicants: Bob Baden
Members of the Public: 2

1. The hearing was called to order at 7:01 pm. Chair Beckett recognizes and appreciates that we are holding this hearing within the traditional territories of the Nuu-chah-nulth and Coast Salish peoples.
2. Chair Beckett introduces himself and Planning staff. Chair Beckett explains that the hearing is being held electronically using Zoom, is live streaming on the ACRD website and is being recorded. He then asks staff to explain Zoom features and hearing procedures.
3. M. Irg explains the use of Zoom, Zoom features and necessary hearing procedures. He also confirms that the hearing is being recorded and live streamed on the ACRD website, and invites any public watching the live stream to join the zoom meeting.
4. Chair Beckett explains that the subject of the hearing is Bylaw P1435. This bylaw is applicable to 460 Pachena Road, and is necessary to facilitate a subdivision proposal. He asks that any questions about an unrelated topic be directed to staff after the hearing. He then asks staff to read out Notice of Public Hearing.
5. The notice is read by M. Irg as follows:

What: Public Hearing for Bylaw P1435, 460 Pachena Road – Bob Baden & Shirley Pakula, Property Owners

When: February 1, 2022 at 7:00 pm

Where: Electronic and call-in public attendance only

What it is about: A Public Hearing for residents and property owners within Electoral Area 'A' – Bamfield, will be held to consider Bylaw P1435. This bylaw is a Zoning Atlas Amendment to rezone LOT A, SECTION 20, TOWNSHIP 1, BARCLAY DISTRICT, PLAN 21412 from Rural (A2) District to Acreage Residential (RA3) District to facilitate a subdivision proposal.

How can I learn more: The Public Hearing will be held by the Director for Electoral Area 'A' or the Chairperson of the Regional District. The Board resolution making this delegation, along with Bylaw P1435 and relevant background documents, is available for review online at www.acrd.bc.ca/events/1-2-2022/. Planning staff are available to answer questions in person, through email and/or by phone during normal office hours 8:00 am to 4:30 pm, Monday through Friday, from January 19, 2022 to February 1, 2022, excluding statutory holidays.

How can I provide input: During the COVID-19 pandemic, providing an opportunity for public input and safeguarding public health are top priorities for the ACRD. Consider written submissions as an effective means to provide your input. Anyone who feels their interest in property will be affected by the proposed bylaw will be afforded a reasonable opportunity to be heard. Options include participating in the Public



REGIONAL DISTRICT OF ALBERNI-CLAYOQUOT PUBLIC HEARING MINUTES February 1, 2022 – ELECTORAL AREA 'A'

Hearing by electronic means using Zoom video conferencing or teleconferencing, and/or submitting correspondence to the ACRD.

If you wish to participate in the Public Hearing electronically or by phone, full instructions to do so are available on our website at www.acrd.bc.ca/events/1-2-2022/ or can be provided by contacting Planning staff by email at planning@acrd.bc.ca or by phone at 250-720-2700. This Public Hearing will be recorded and livestreamed on our website. Written correspondence can be submitted to the ACRD by one of the following methods:

Hard copy delivered to the ACRD office in person, in the drop slot or by mail to the Planning Department at the address below.

Email sent to planning@acrd.bc.ca before 4:00 pm, February 1, 2022. Email correspondence will only be considered received if receipt confirmation is provided by ACRD staff.

Fax sent to 250-723-1327 before 4:00 pm, February 1, 2022. Fax correspondence will only be considered received if receipt confirmation is provided by ACRD staff.

All correspondence must be received by the ACRD no earlier than 8:00 am on January 19, 2022 and no later than 4:00 pm on February 1, 2022. Correspondence submitted and/or received outside of these parameters will not be included in the Public Hearing.

6. Chair Beckett explains the purpose of the public hearing and that minutes are being taken. He then asks staff to introduce the proposal.
7. M. Irg introduces the proposal and includes the following:
 - Rezoning the 1.57 hectares (3.39 acre) property located on the east side of Bamfield at 460 Pachena Road from Rural (A2) District to Acreage Residential (RA3) District in order to facilitate a three (3) lot subdivision to a minimum 0.6 acre lot size noting the zoning permits for up to five (5) lots on the property.
 - Existing single family dwelling and out buildings on the northwest corner of the property, with legal access to the rear of the property via Seabird Way bisecting the east boundary of the lot.
 - Three (3) referral agency comment forms were received (Appendix 'A'). Ministry of Transportation noted no objections. Additional road dedication will be required at Seabird Way, required at the subdivision stage. Island Health recommended approval subject to the condition the new lots created will support a primary reserve sewerage system. A letter from the Huu-ay-aht First Nations (Appendix 'B') was received agreeing to provide future sewage disposal capabilities at the site noting that currently the sewer collection infrastructure is not adjacent to the subject property and that the Huu-ay-aht First Nations makes no commitment to construct said infrastructure at this time. A copy of the letter is available for public review on the ACRD website. ACRD Building Inspector noted no objections, interests unaffected. Referral agency comments are available on website for viewing on the ACRD website.
 - Each lot will be connected to the Bamfield Water System.
 - One (1) letter of public correspondence was received prior to the public hearing, (Appendix 'C') read aloud by M. Irg, noting concerns with a possible increase in traffic on Pachena Road. Would be supportive of two (2) lots.



**REGIONAL DISTRICT OF ALBERNI-CLAYOQUOT
PUBLIC HEARING MINUTES
February 1, 2022 – ELECTORAL AREA 'A'**

8. Chair Beckett invites the applicants to add any information or comments.
9. B. Baden responds to the public correspondence with respect to traffic increase concerns commenting that the neighbour lives on the corner of Binnacle Road and Pachena Road noting there is a lot of traffic on Binnacle Road already and that he is confused by the concern.
10. Chair Beckett invites the public to add any information or comments.
11. No comments.
12. Chair Beckett invites staff and the public to add any additional information or comments.
13. No comments.
14. Chair Beckett explains that no new information can be received by members of the Board of Directors between the end of the hearing and the Board meeting scheduled for February 9th. If any Board member does so, the hearing would be invalidated and would have to be held again. He clarifies that the applicants and members of the public are welcome to speak to ACRD staff, but not to Board members.
15. Chair Beckett invites the applicants and staff to add any additional information or comments.
16. Betty Beyko, 458 Pachena Road asks if the new sewage line will run by her property.
17. M. Irg explains the ACRD cannot confirm details of the project, discussions will be between the HUU-ay-aht First Nations and the homeowners.
18. Chair Beckett invites the applicants and staff to add any additional information or comments.
19. No comments.
20. Chair Beckett calls three times for further representations and comments from the public. Hearing none, the hearing is terminated at 7:18 pm.

Certified Correct:

Bob Beckett, Director for Electoral Area 'A' – Bamfield

Minutes Prepared by:

Kathy McArthur, Planning Assistant



**ALBERNI-CLAYOQUOT
REGIONAL DISTRICT**

3008 Fifth Avenue, Port Alberni BC, CANADA V9Y 2E3

Telephone (250) 720-2700 Fax (250) 723-1327

BYLAW RESPONSE SUMMARY

BYLAW NO.: P1435 ACRD FILE NO.: RA21006

APPLICANT NAME: Bob Baden & Shirley Pakula

ACRD CONTACT: Alex Dyer, Planning Manager

Date of Referral: September 22, 2021

Approval Recommended for Reasons
Outlined Below

Interests Unaffected by Bylaw

Approval Recommended Subject to
Conditions Below

Approval NOT Recommended Due to
Reasons Outlined Below

No objections to this rezoning proposal. As noted on proposed plan of subdivision, additional road will be required at Seabird Way.

Agency (please print):

Ministry of Transportation and Infrastructure

Name (please print):

Tim Hendy

Title:

Development Officer

Signature:

Date:

9/23/21



**ALBERNI-CLAYOQUOT
REGIONAL DISTRICT**

3008 Fifth Avenue, Port Alberni BC, CANADA V9Y 2E3

Telephone (250) 720-2700 Fax (250) 723-1327

BYLAW RESPONSE SUMMARY

BYLAW NO.: P1435 ACRD FILE NO.: RA21006

APPLICANT NAME: Bob Baden & Shirley Pakula

ACRD CONTACT: Alex Dyer, Planning Manager

Date of Referral: September 22, 2021

Approval Recommended for Reasons
Outlined Below

Interests Unaffected by Bylaw

Approval Recommended Subject to
Conditions Below

Approval NOT Recommended Due to
Reasons Outlined Below

Island Health will have an opportunity to review the subdivision application through the referral process with the Ministry of Transportation and Infrastructure to ensure the proposal meets the intent of Island Health's Subdivision Standards.

The purpose of the Island Health Subdivision Standards is to ensure that new lots created will support a primary and reserve sewerage system. The intent is to provide a viable long-term solution for onsite wastewater, thereby eliminating the need for costly extension of municipal sewer systems. These standards are designed to address concerns of detrimental cumulative impact associated with increase density using onsite sewerage systems. The intent is to prolong the expected life of sewerage systems and safeguard the environment and public health.

While a Registered Onsite Wastewater Practitioner is able to evaluate the ability of the soils to support an onsite sewerage system, the Sewerage System Standard Practice Manual specifically states that the manual is not intended to address the potential cumulative impacts of discharge from multiple sewerage systems within a given area.

Agency (please print): Island Health

Name (please print): Stephanie Bruvall

Title: Environmental Health Officer

Signature:

Date: 10/4/21



**ALBERNI-CLAYOQUOT
REGIONAL DISTRICT**

3008 Fifth Avenue, Port Alberni BC, CANADA V9Y 2E3

Telephone (250) 720-2700 Fax (250) 723-1327

BYLAW RESPONSE SUMMARY

BYLAW NO.: P1435 ACRD FILE NO.: RA21006

APPLICANT NAME: Bob Baden & Shirley Pakula

ACRD CONTACT: Alex Dyer, Planning Manager

Date of Referral: September 22, 2021

Approval Recommended for Reasons
Outlined Below

Interests Unaffected by Bylaw

Approval Recommended Subject to
Conditions Below

Approval NOT Recommended Due to
Reasons Outlined Below

[Large empty rectangular box for additional information or comments]

Agency (please print): Alberni-Clayoquot Regional District

Name (please print): Luc Stefani

Title: Building Inspector

Signature:

Date: 10/19/21



huuayaht

ANCIENT SPIRIT, MODERN MIND

To whom it may concern,

This letter is to confirm that Huuayaht First Nations is agreeable to provide sewer treatment service to the property located at 460 Pachena road, Bamfield (PID: 003-393-437). This confirmation is for the property at whole, including all current and future structures whether on one property or split into multiple properties. It should be noted however, that currently the sewer collection infrastructure is not adjacent to the subject property and that Huuayaht makes no commitment to construct said infrastructure at this time. If and when a sewer collection system is installed that would facilitate one or multiple sewer connections to the property(ies), Huuayaht would be please to provide the end point treatment of said sewer discharge.

Regards,

Torrance Gilmour – Infrastructure Manager of Operations

torrance.g@huuayaht.org

Anacla Office: 250-728-3414 Ext. 111, **Cell:** 250-735-7837

Huu-ay-aht First Nations Government Offices

Mailing Address: 4644 Adelaide Street, Port Alberni, BC V9Y 6N4
170 Nookemus Rd., Anacla, BC

From: [Animal Care Coordinator](#)
To: [Planning Shared](#)
Subject: Zoning Atlas Amendment to rezone LOT A, SECTION 20, TOWNSHIP 1, BARCLAY DISTRICT, PLAN 21412 from Rural (A2) to Acreage Residential (RA3)
Date: February 1, 2022 4:00:30 PM

[CAUTION] This email originated from outside of the ACRD

Regarding:
Regional District of Alberni-Clayquot
Public Hearing for Bylaw P1435
Zoning Atlas Amendment to rezone LOT A, SECTION 20, TOWNSHIP 1, BARCLAY DISTRICT, PLAN 21412 from Rural (A2) to Acreage Residential (RA3)

To whom it may concern,

As a home owner on Pachena Rd, I do have concerns about the increase in traffic on the road that would likely result if the lot were divided into 3 lots. As there are only 7 houses currently on the road, if the said lot was eventually divided into 5 lots, this could almost double the amount of traffic. As someone who has small children at my home on occasion as well as pets, increased traffic on the road concerns me. Perhaps dividing the lot into 2 lots would be okay.

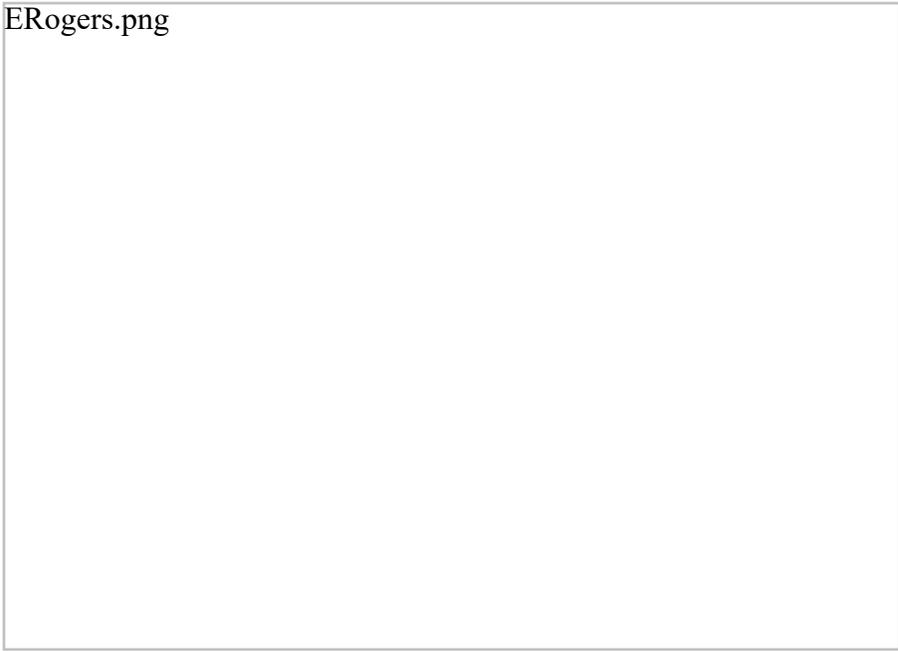
One of the reasons I choose to live on this road and in this area, is the because it is rural and has very low traffic.

Many thanks
Home Owner on Pachena Rd.

.....

--

ERogers.png



Kelley Bartlett

Coordinator, Animal Care and Ethics

Bamfield Marine Sciences Centre

100 Pachena Rd

Bamfield BC

V0R 1B0

(250) 728-3301 ext. 275

REGIONAL DISTRICT OF ALBERNI-CLAYOQUOT

BYLAW NO. P1435

OFFICIAL ZONING ATLAS AMENDMENT NO. 744

A bylaw of the Regional District of Alberni-Clayoquot to amend Bylaw No. 15, being the “Regional District of Alberni-Clayoquot Zoning By-law No. 15, 1971”.

WHEREAS the *Local Government Act* authorizes the Regional Board to amend a zoning bylaw after a public hearing and upon the affirmative vote of the directors in accordance with Sections 464, 465, 470 and 479 of the *Local Government Act*;

AND WHEREAS an application has been made to rezone a property;

AND WHEREAS the Board of Directors of the Regional District of Alberni-Clayoquot, in open meeting assembled, enacts the following amendment to the Official Zoning Atlas of the Regional District of Alberni-Clayoquot Zoning By-law No. 15, 1971:

1. TITLE
This bylaw may be cited as the Regional District of Alberni-Clayoquot Zoning Atlas Amendment Bylaw No. P1435.
2. Bylaw No. 15 of the Regional District of Alberni-Clayoquot is hereby amended by rezoning LOT A, SECTION 20, TOWNSHIP 1, BARCLAY DISTRICT, PLAN 21412 from Rural (A2) District to Acreage Residential (RA3) District as shown on Schedule ‘A’ which is attached to and forms part of this bylaw.
3. This bylaw shall come into force and take effect upon the adoption thereof.

Read a first time this 28th day of July, 2021
Public Hearing held this 1st day of February, 2022

Read a second time this day of ,

Read a third time this day of ,

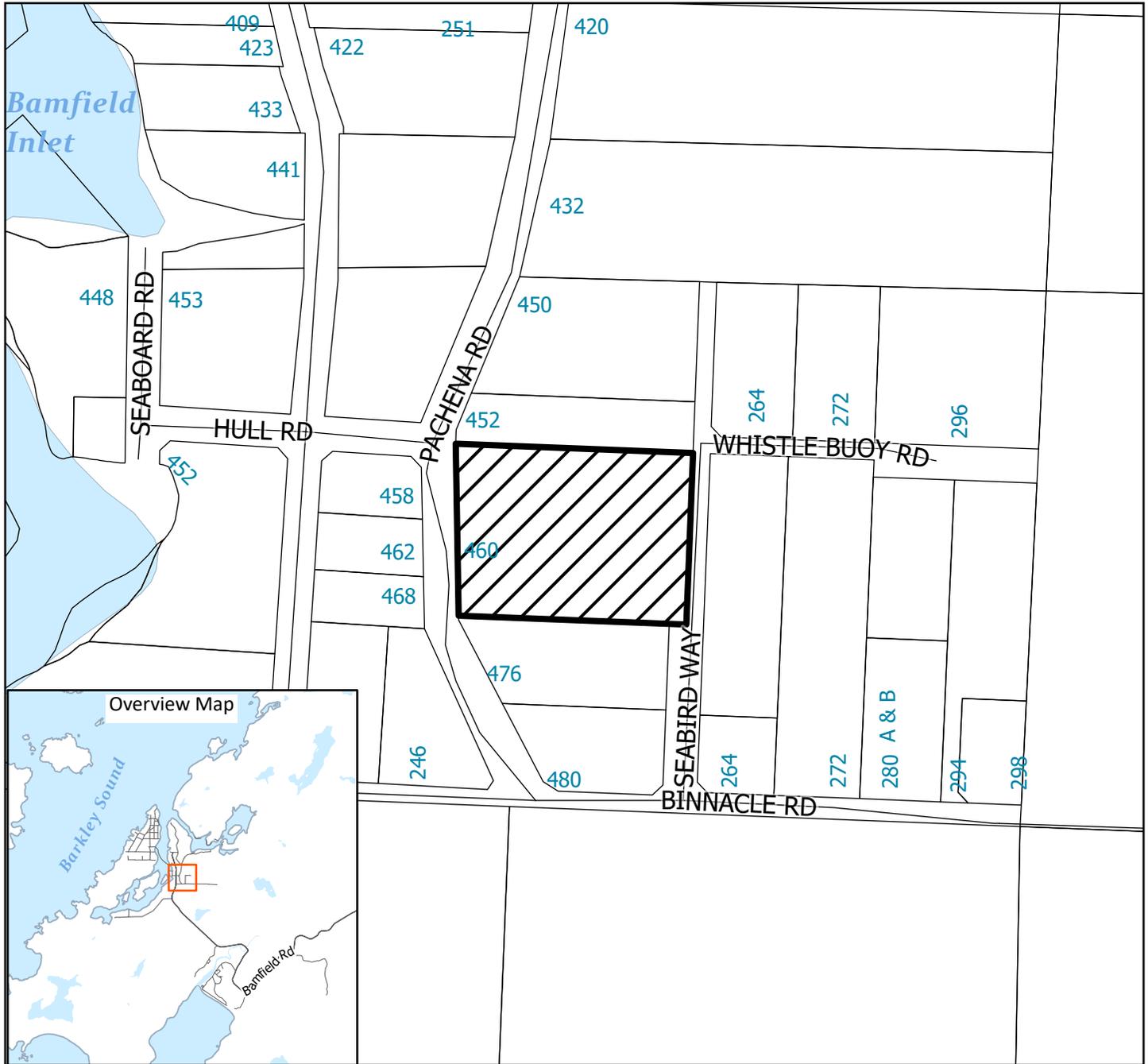
Adopted this day of ,

Corporate Officer

Chair of the Regional Board

Schedule 'A'

This schedule is attached to and forms part of
Bylaw P1435



P1435 Baden

Legal Description: LOT A, SECTION 20, TOWNSHIP 1, BARCLAY DISTRICT,
PLAN 21412



To be rezoned from Rural (A2) District to
Acreage Residential (RA3) District



0 40 80 Meters



ALBERNI-CLAYOQUOT REGIONAL DISTRICT

3008 Fifth Avenue, Port Alberni BC, CANADA V9Y 2E3 Telephone (250) 720-2700 Fax (250) 723-1327

MEMORANDUM

To: ACRD Board of Directors
From: Charity Hallberg Dodds, Planning Technician
Meeting Date: February 9, 2022
Subject: DVC21002 (Martin and Howard) 1145 Fourth Avenue, Salmon Beach

Recommendation: *THAT the Board of Directors issue development variance permit DVC21002.*

Summary: At the January 12, 2022 Board meeting, the Board of Directors considered development variance permit application DVC21002 for the property located at 1145 Fourth Avenue, Salmon Beach, legally described as LOT 19, BLOCK 50, SECTION 49, CLAYOQUOT DISTRICT, PLAN 510.

The Board resolved that this application proceed to the next stage of the variance process. This involved notifying all neighbouring property owners and residents within 100 m of the property, which was completed on January 19, 2022. To date, one letter has been received and is attached to this memo as Appendix 'A'. The letter from a neighbouring property owner expresses opposition to the variance noting the potential impact on the views from their property. If additional correspondence is received prior to the February 9, 2022 Board meeting, staff will inform the Board.

The development variance permit would increase the permitted maximum height for a storage building in the Salmon Beach (SB) District from 3.66 m (12 ft) to 4.4 m (14.5 ft).

Submitted by: Charity Hallberg Dodds
Charity Hallberg Dodds, Planning Technician

Reviewed by: Alex Dyer
Alex Dyer, MCIP, RPP, Planning Manager

Reviewed by: Daniel Sailland
Daniel Sailland, MBA, Chief Administrative Officer

DVC21002

From: [Jayda Martinolich](#)
To: [Planning Shared](#)
Subject: DVC21002
Date: January 21, 2022 11:56:14 AM

[CAUTION] This email originated from outside of the ACRD

Hello

I have just received the Notice of Application for Development Variance Permit for 1145 fourth Avenue, Salmon Beach.

If this property is given the variance of 14.5ft (4.4m) it will obstruct our view once we can afford to build in 2.5 years. We have conformed to the current height restrictions for our out building.

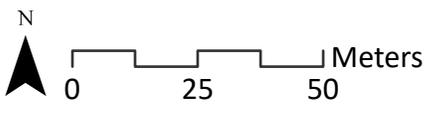
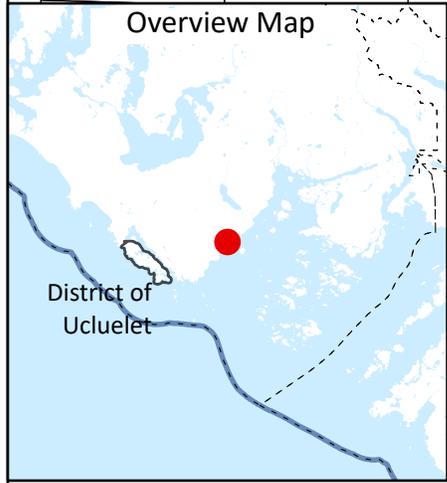
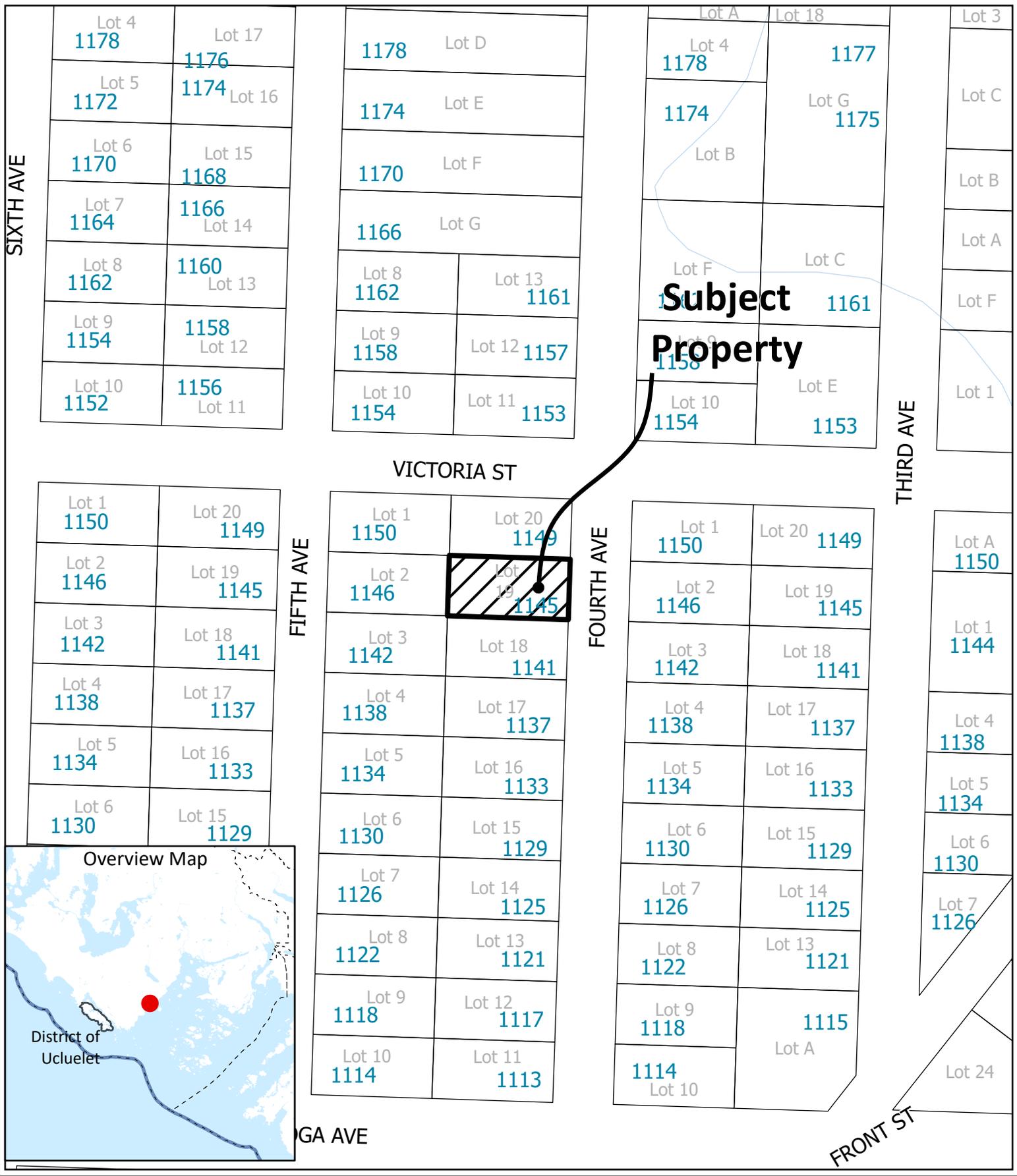
It would not be fair to let one person do something and the others not. I've noticed too many variances over the years and it's becoming ridiculous.

What is good for one lot should be good for all.

I do not agree with vary section 143.3(1)a and do not want a taller out building in my view.

Sincerely

Jayda



Legal Description: LOT 19, BLOCK 50, SECTION 49, CLAYOQUOT DISTRICT, PLAN 510



ALBERNI-CLAYOQUOT REGIONAL DISTRICT

3008 Fifth Avenue, Port Alberni BC, CANADA V9Y 2E3 Telephone (250) 720-2700 Fax (250) 723-1327

DEVELOPMENT VARIANCE PERMIT NO. DVC21002

Whereas, pursuant to Section 498 of the *Local Government Act*, a local government may by resolution, on application of a property owner, vary the provisions of a bylaw under Division 5 of Part 14 of the *Local Government Act*;

A Development Variance Permit is hereby issued to:

Name: Devin Martin and Cindy Howard
Address: 1145 Fourth Avenue, Salmon Beach

With respect to:

Legal Description: LOT 19, BLOCK 50, SECTION 49, CLAYOQUOT DISTRICT, PLAN 510

PID: 008-367-736

The provisions of the Regional District of Alberni-Clayoquot Bylaw No. 15 are hereby varied as follows:

- i. Development variance of Section 143.3(1)(a) of the ACRD Zoning Bylaw to increase the permitted maximum height for a storage building in the Salmon Beach (SB) District from 3.66 m (12 ft) to 4.4 m (14.5 ft).

In accordance with the provision of Section 498 of the *Local Government Act*, approval of this permit was given by resolution of the Board of the Regional District of Alberni-Clayoquot on _____, 2022.

This permit was issued under the seal of the Regional District of Alberni-Clayoquot on _____, 2022.

Daniel Sailland, MBA
Chief Administrative Officer

Chair of the Board of Directors

DVC21002



ALBERNI-CLAYOQUOT REGIONAL DISTRICT

3008 Fifth Avenue, Port Alberni BC, CANADA V9Y 2E3 Telephone (250) 720-2700 Fax (250) 723-1327

MEMORANDUM

To: ACRD Board of Directors
From: Charity Hallberg Dodds, Planning Technician
Meeting Date: February 9, 2022
Subject: DVC21005 (Subin) 1185 Seventh Avenue, Salmon Beach

Recommendation: *THAT the Board of Directors issue development variance permit DVC21005.*

Summary: At the January 12, 2022 Board meeting, the Board of Directors considered development variance permit application DVC21005 for the property located at 1185 Seventh Avenue, Salmon Beach, legally described as LOT 2, BLOCK 40, SECTION 49, CLAYOQUOT DISTRICT, PLAN 510.

The Board resolved that this application proceed to the next stage of the variance process. This involved notifying all neighbouring property owners and residents within 100 m of the property, which was completed on January 19, 2022. To date, no correspondence has been received from members of the public. If correspondence is received prior to the February 9, 2022 Board meeting, staff will inform the Board.

The development variance permit would increase the permitted maximum height for a cabin in the Salmon Beach (SB) District from 5.5 m (18 ft) to 5.8 m (19 ft).

Submitted by: Charity Hallberg Dodds
Charity Hallberg Dodds, Planning Technician

Reviewed by: Alex Dyer
Alex Dyer, MCIP, RPP, Planning Manager

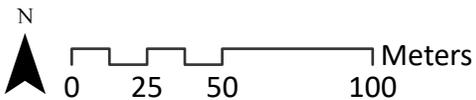
Reviewed by: Daniel Sailland
Daniel Sailland, MBA, Chief Administrative Officer

DVC21005

**Subject
Property**

1189	1190	1189	1190	1192
1185	1186	1185	1186	1185
1181	1182	1181	1182	1181
1177	1178	1177	1178	1176
1173	1174	1173	1172	1178
1169	1170	1169	1170	1176
1165	1166	1165	1164	1168
1161	1160		1162	1166
1157			1154	1160
1153	1154		1152	1158
			1156	1154
1149	1150	1149	1150	1149
1145	1146	1145	1146	1145
1141	1142	1141	1142	1141
1137	1138	1137	1138	1137
1133	1134	1133	1134	1133
1129	1130	1129	1130	1129

Toquaht
Nation.



Legal Description: LOT 2, BLOCK 40, SECTION 49,
CLAYOQUOT DISTRICT, PLAN 510



ALBERNI-CLAYOQUOT REGIONAL DISTRICT

3008 Fifth Avenue, Port Alberni BC, CANADA V9Y 2E3 Telephone (250) 720-2700 Fax (250) 723-1327

DEVELOPMENT VARIANCE PERMIT NO. DVC21005

Whereas, pursuant to Section 498 of the *Local Government Act*, a local government may by resolution, on application of a property owner, vary the provisions of a bylaw under Division 5 of Part 14 of the *Local Government Act*;

A Development Variance Permit is hereby issued to:

Name: Miodrag and Dragan Subin
Address: 1185 Seventh Avenue, Salmon Beach

With respect to:

Legal Description: LOT 2, BLOCK 40, SECTION 49, CLAYOQUOT DISTRICT, PLAN 510

PID: 008-363-463

The provisions of the Regional District of Alberni-Clayoquot Bylaw No. 15 are hereby varied as follows:

- i. Development variance of Section 143.3(10) of the ACRD Zoning Bylaw to increase the permitted maximum height for a cabin in the Salmon Beach (SB) District from 5.5 m (18 ft) to 5.8 m (19 ft).

In accordance with the provision of Section 498 of the *Local Government Act*, approval of this permit was given by resolution of the Board of the Regional District of Alberni-Clayoquot on _____, 2022.

This permit was issued under the seal of the Regional District of Alberni-Clayoquot on _____, 2022.

Daniel Sailland, MBA
Chief Administrative Officer

Chair of the Board of Directors

DVC21005



ALBERNI-CLAYOQUOT REGIONAL DISTRICT

3008 Fifth Avenue, Port Alberni BC, CANADA V9Y 2E3 Telephone (250) 720-2700 Fax (250) 723-1327

Development Variance Application

MEETING DATE: February 9, 2022

ACRD FILE NO.: DVD21009

APPLICANTS: Derick and Gwen Ronkainen, Agent – Don Saywell Developments Ltd

LEGAL DESCRIPTION: PARCEL A (DD 89825N) OF LOT 3 DISTRICT LOT 204 ALBERNI DISTRICT PLAN 4600

LOCATION: 10485 Lakeshore Road, Port Alberni

ELECTORAL AREA: "D" Sproat Lake

APPLICANT'S INTENTION: The applicants have applied for a development variance permit to reduce the required front yard setback from 12.2 m (40 ft) to 11 m (36.1 ft) in the Acreage Residential (RA1) District to facilitate construction of a new single family dwelling.

Recommendation: THAT the Board of Directors consider issuing development variance permit DVD21009, subject to neighbouring properties being notified as per Local Government Act s.499.

Development Variance DVD21009:

- i. Development variance of the ACRD Zoning Bylaw, Schedule No. II: Bulk and Site Regulations, to reduce the required front yard setback from 12.2 m (40 ft) to 11 m (36.1 ft) in the Acreage Residential (RA1) District to facilitate construction of a new single family dwelling.

Procedure: Prior to the issuance of a development variance permit, the Board must first pass a resolution to consider issuing the permit. Staff then notify neighbouring property owners and residents to afford them the opportunity to make written or verbal submissions to the Board. At a subsequent meeting, the Board issues or denies the development variance permit.

Sproat Lake Advisory Planning Commission (APC) Recommendation: The Sproat Lake APC reviewed this application at their January 31, 2022 meeting and passed a motion to support the application.

Observations:

i. Status of Property:

The subject property is 0.09 ha (0.22 ac) in size. Improvements on the property include a small single family dwelling and a sewage disposal system. The property is mostly lawn area

DVD21009

aside from the sewage disposal system and paved driveway. The parcel is split by Lakeshore Road with a portion, approximately 0.017 ha (0.04 ac) in area, located across the road on the lakefront. A lock-block and concrete wall separates the property from the surrounding parcel to the north and west. The subject property is lower than adjacent properties on all sides.

ii. **Services:**

- a. **Sewage Disposal:** Onsite sewage disposal.
- b. **Water Supply:** Onsite water supply.
- c. **Fire Protection:** Sproat Lake Volunteer Fire Department.
- d. **Access:** Lakeshore Road.

iii. **Existing Planning Policies Affecting the Site:**

- a. **Agricultural Land Reserve:** Not within the Agricultural Land Reserve.
- b. **Official Community Plan:** The Sproat Lake Official Community Plan (OCP) designates the property as "Residential Use". The objective of this designation is to allow for a range of housing options within the OCP area.

The subject property is affected by Development Permit Area I – Riparian Areas Protection (DPA I), which extends 15 m (49.2 ft) from the natural boundary of Sproat Lake. The sketch plan prepared by JE Anderson and Associates indicates the 15 m setback and shows the proposed construction, located on the upland side of Lakeshore Road, is outside of DPA I.

The proposal complies with the Sproat Lake Official Community Plan. As the proposed construction is outside of DPA I, issuance of a development permit is not required.

- c. **Zoning:** The property is zoned Acreage Residential (RA1) District.

Building Setbacks		
RA1	Required	Proposed
Front lot line setback:	12.2 m (40 ft)	11 m (36.1 ft)
Rear yard setback:	9.144 m (30 ft)	-
Side yard setback:	4.572 m (15 ft)	-

The applicant is applying for a Development Variance Permit in order to reduce the required front yard setback from 12.2 m (40 ft) to 11 m (36.1 ft) in the Acreage Residential (RA1) District to facilitate construction of a new single family dwelling.

Comments:

The RA1 District has a minimum floor area for dwelling units of 83.6 sq m (900 sq ft) on the main floor. Due to the lot shape and size, in order to meet this requirement, the footprint of the single family dwelling projects into the front yard setback. The proposed height and siting of the structure complies with the side and rear yard setbacks and height requirements of the RA1 District. The sewage disposal system is located behind the current (and proposed) home at the rear of the property.

DVD21009

The subject property is located wholly within the Coastal Flood Construction Level (FCL) as identified by the Somass Watershed Flood Management Plan (SWFMP). Planning staff had recommended that the applicant provide a report from a Geotechnical Engineer certifying that the land may be used safely for the intended construction of a new single family dwelling. This has been completed, and the report is attached. Consideration of a safe flood construction elevation and the registration of a restrictive covenant, with the accompanying report from the qualified professional, will be required at the building permit stage of the project.

Planning staff feel the proposed variance is appropriate and recommend that the Board of Directors consider issuing development variance permit DVD21009, subject to neighbour notification.

Submitted by: *Charity Hallberg Dodds*
Charity Hallberg Dodds, Planning Technician

Reviewed by: *Alex Dyer*
Alex Dyer, MCIP, RPP, Planning Manager

Reviewed by: *Daniel Sailland*
Daniel Sailland, MBA, Chief Administrative Officer

DVD21009

**DVD21009 – Ronkainen, 10485 Lakeshore Road
Site Photos taken January 20, 2022**



Looking north towards existing home, from Lakeshore Road.



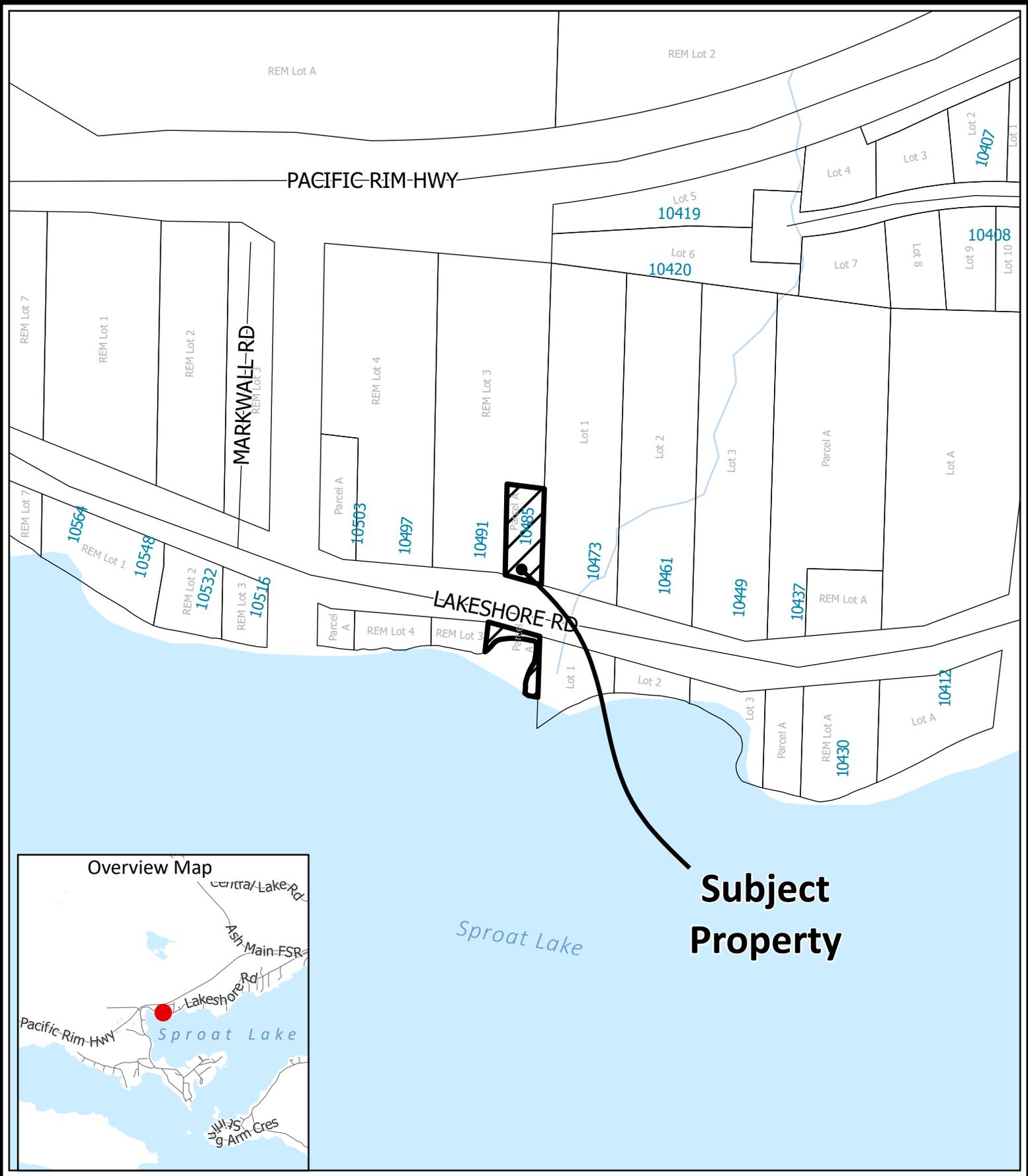
Looking south towards portion of property across Lakeshore Road on the lakefront.



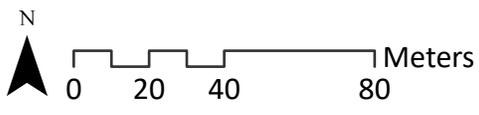
Looking at lock-block and concrete wall, and sewage disposal system area behind the existing home.



Looking south from rear property boundary, standing in front of lock-block and concrete wall.



Subject Property



 Legal description: PARCEL A (DD 89825N) OF LOT 3 DISTRICT LOT 204 ALBERNI DISTRICT PLAN 4600

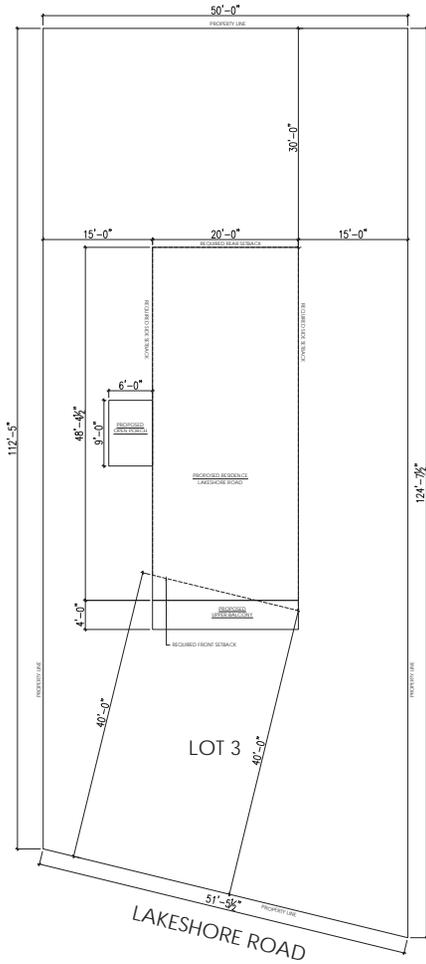
To whom it may concern:

We require a Variance for the following reasons as stated to us by the ACRD:

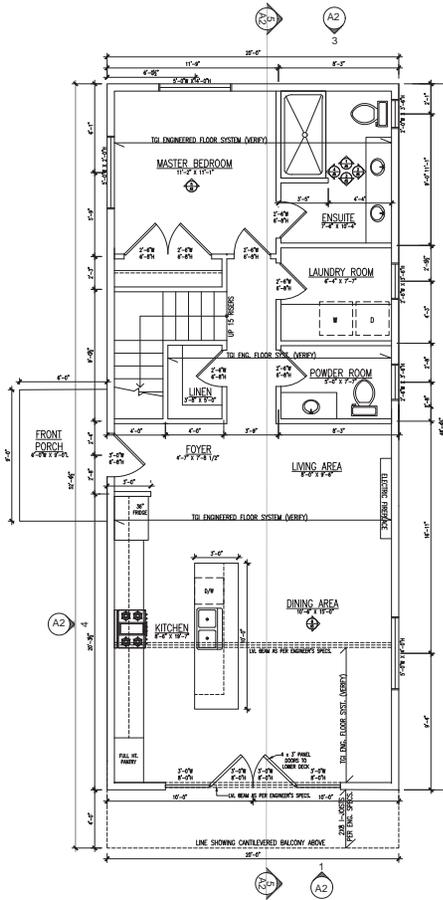
ACRD Zoning Bylaw requires a minimum main floor area (measured from the inside finished surface of the walls) of 900 square feet (83.613 m²) in the Acreage Residential District (RA 1). The current plans indicate that the 900 SF minimum will not be met. It's also understood that due to the setback requirements from the front (40'), rear (30') and side lot lines (15'), the allowable building area is less than 900 SF. As discussed, there is a definite hardship with regard to the allowable building envelope and the minimum floor area required by the ACRD Zoning Bylaw due to the size of the property. As such, the plans will need to be revised to meet the minimum floor area requirement and the building's footprint will have to encroach into the required setback distances. A development variance application will be required to vary the setbacks; however, when there is an undeniable hardship such as this, the process is somewhat expedited.

We have attached the revised plans for your consideration.

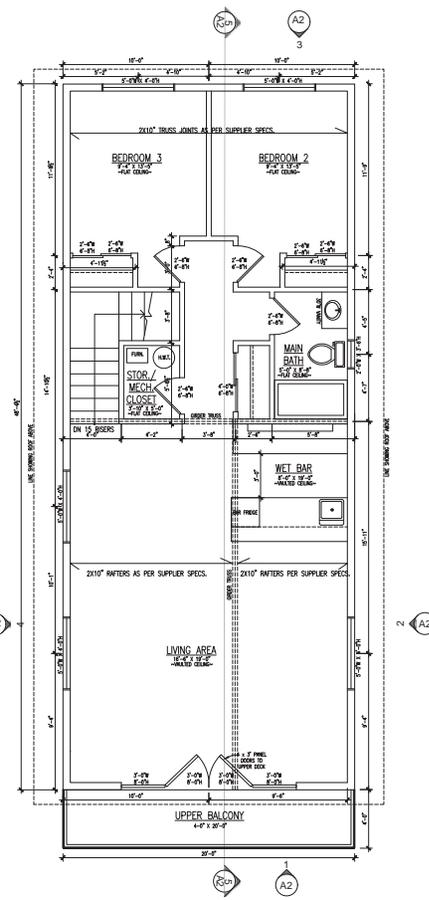
Thank you



1 SITE PLAN
A1 1/8" = 1'-0"



2 MAIN FLOOR PLAN
A1 1/4" = 1'-0"



3 UPPER FLOOR PLAN
A1 1/4" = 1'-0"

LOT DIMENSIONS		
AREA:	SQ. FOOTAGE:	NOTES:
FRONT & BACK	50'-0" 5'-5 1/2"	/
SIDES	112'-5" 124'-7 1/2"	/

REQUIRED SETBACKS		
AREA:	SQ. FOOTAGE:	NOTES:
FRONT	40'-0"	
REAR	30'-0"	
SIDES	15'-0"	

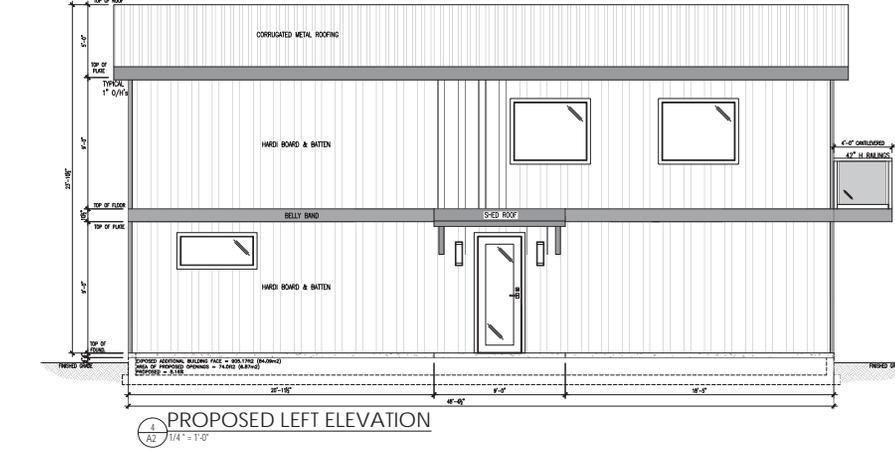
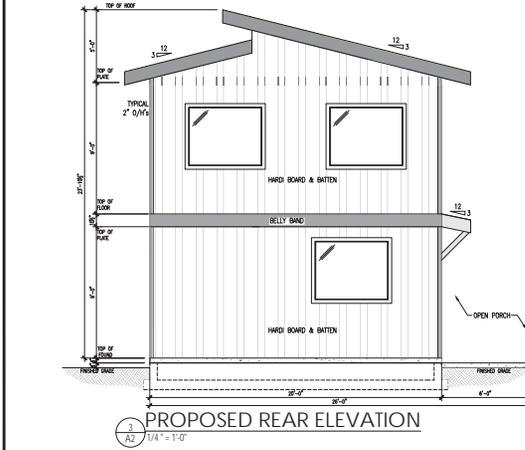
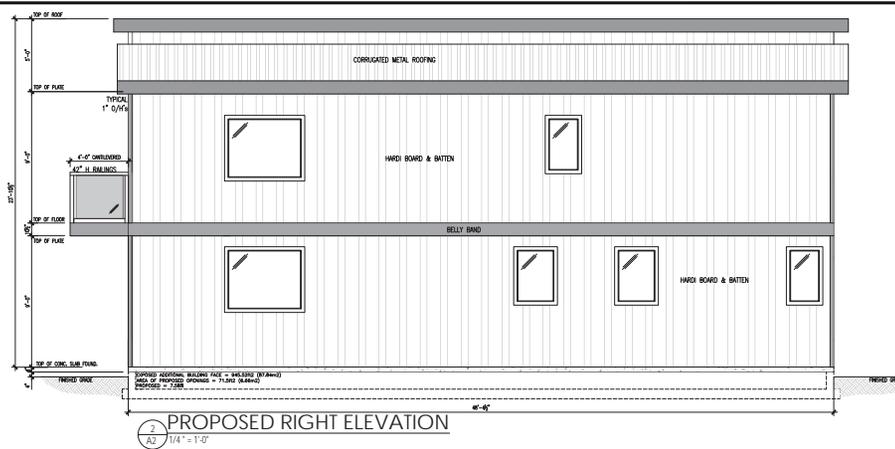
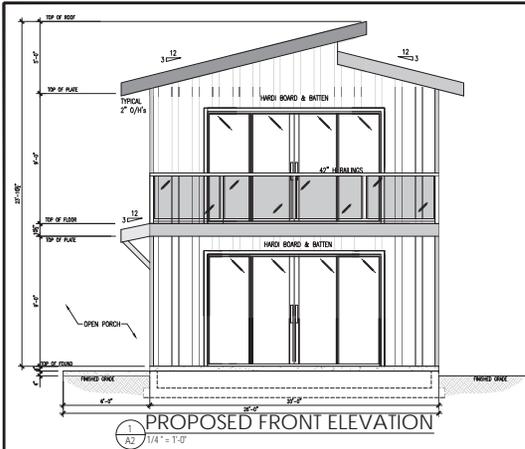
FLOOR AREA SQUARE FOOTAGE		
AREA:	SQ. FOOTAGE:	NOTES:
MAIN FLOOR		
MAIN LIVING	900.00	MEASURED FROM INSIDE FINISHED SURFACE OF WALLS
OPEN PORCH	54.00	/
UPPER FLOOR		
MAIN LIVING	900.00	MEASURED FROM INSIDE FINISHED SURFACE OF WALLS
UPPER BALCONY	80.00	/
TOTAL:	1934	

- GENERAL NOTES**
- ALL CONSTRUCTION MUST COMPLY WITH THE CURRENT BC BUILDING CODE AND MUNICIPAL BYLAWS
 - OWNERS, BUILDERS AND CONTRACTORS MUST CHECK DRAWINGS AND CORRECT WHERE NECESSARY TO ENSURE ALL NOTES AND REQUIREMENTS ARE MET PRIOR TO CONSTRUCTION
 - NOTES BY PROFESSIONAL ENGINEERS, TRUSS SUPPLIERS AND PLAN CHECKERS TO TAKE PRECEDENCE WHERE IN CONFLICT WITH DRAWINGS NOTES
 - THE OWNERS AND BUILDERS TAKE SOLE RESPONSIBILITY FOR ANY DEVIATION FROM THE STRUCTURAL DRAWINGS AND SPECS.
 - ALL WORKMANSHIP SHALL CONFORM TO A STANDARD OF GOOD BUILDING PRACTICE
 - WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE MEASUREMENTS
 - DIMENSIONS FROM OUTSIDE OF EXTERIOR WALLS & FROM THE CENTERLINE OF INTERIOR WALLS U.N.O.
 - ALL LUMBER SHALL BE SPF #2 OR BETTER
 - ALL UNITS SHALL BE 2 X12 U.N.O.

DEREK & GWEN RONKAINEN
10485 LAKESHORE ROAD, PORT ALBERNI, B.C.

MARBAN CONSTRUCTION AND DESIGN
112 Evelyn Crescent,
Nanaimo BC, v9x 1a1
250-616-9601

DATE:	REVISED OCT. 26TH 2021
PROJECT:	NEW BUILD
DRAWING:	SITE PLAN & FLOOR PLANS
SCALE:	AS NOTED
DRAWN BY:	RACHEL BALAN
DRAWING NO.	



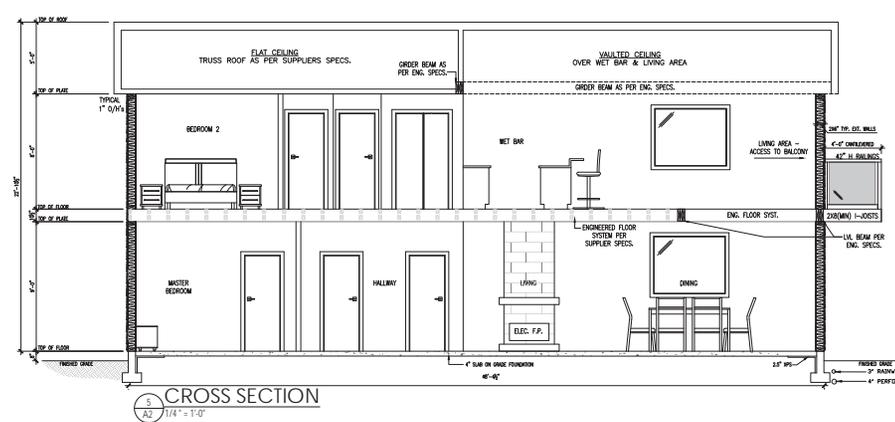
THERMAL CHARACTERISTICS OF BUILDING ASSEMBLIES (CBC (9.36.2.6 - 9.36.2.8))

CLIMATE ZONE: 5

BUILDING ASSEMBLY	MINIMUM EFFECTIVE THERMAL RESISTANCE (RSI):
TYPICAL ROOFS	RSI 8.67 (R-49.23)
TYPICAL CATHEDRAL CEILINGS & FLAT ROOFS	RSI 4.67 (R-26.51)
TYPICAL EXTERIOR WALLS	RSI 2.97 (R-16.86)
TYPICAL FLOOR OVER UNHEATED SPACES	RSI 4.67 (R-26.51)
TYPICAL FOUNDATION WALLS	RSI 2.98 (R-16.92)
TYPICAL HEATED FLOORS	RSI 2.32 (R-13.17)
TYPICAL UNHEATED FLOORS ABOVE FROST LINE	RSI 1.96 (R-11.1)
TYPICAL UNHEATED FLOORS BELOW FROST LINE	UNINSULATED
TYPICAL WINDOWS & DOORS	US 1.8 U-VALUE & 21 MIN. ENERGY RATING

NOTE: CONTRACTOR MUST ADHERE TO THE NEW ENERGY EFFICIENCY REQUIREMENT CLIMATE ZONE 5 SECTION 9.36 OF THE BC BLDG. CODE

- ELEVATION NOTES**
- TORCH ON MEMBRANE ROOF
 - HARDI BOARD & BATTEN SIDING
 - HARDI SHINGLE SIDING
 - 4" SLAB ON GRADE FOUNDATION



CEILING - TRUSSES @ 24" O.C.

ASSEMBLY COMPONENT	R	RSI
1 ROOF SHEATHING	0.00	0.00
2 VENTED ROOF AIR SPACE	0.17	0.03
3 ROOF TRUSSES (2X10 SPRUCE)	26.4	4.65
4 POLYETHYLENE VAPOUR RETARDER	0.00	0.00
5 1/2" (12.7 MM.) GYPSUM BOARD	0.45	0.08
6 INTERIOR AIR FILM	0.62	0.11
7 AIR CAVITY, 19MM AIR SPACE	0.85	0.15
EFFECTIVE RSI / R VALUE - ENTIRE ASSEMBLY	28.49	5.02

FLOOR ABOVE FROST LINE (UNHEATED)

ASSEMBLY COMPONENT	R	RSI
1 POLYETHYLENE	0.91	0.16
2 CONCRETE FLOOR SLAB (4" THICK)	0.23	0.04
3 POLYETHYLENE	0.00	0.00
4 2" XPS (R-5 / IN.)	10.16	1.79
EFFECTIVE RSI / R VALUE - ENTIRE ASSEMBLY	11.29	1.99

NRC TABLES E.T.R. OPAQUE ASSEMBLIES

ABOVE GRADE WALL - 2" X 6" @ 16" O.C.

ASSEMBLY COMPONENT	R	RSI
1 EXTERIOR AIR FILM	0.17	0.03
2 HARD BOARD	0.68	0.12
3 BUILDING PAPER/HOUSE WRAP	0.00	0.00
4 7/16" OSB SHEATHING	0.62	0.11
5 2" X 6" FRAMING @16" O.C. W/ R-24 BATT	15.10	2.66
6 POLYETHYLENE VAPOUR RETARDER	0.00	0.00
7 1/2" GYPSUM BOARD	0.45	0.08
8 FINISH- 1 COAT PRIMER & LATEX PAINT	0.00	0.00
9 INTERIOR AIR FILM	0.68	0.12
EFFECTIVE RSI/R VALUE - ENTIRE ASSEMBLY	17.70	3.12

NRC CAN.GC.CA TABLE WA-2

ENERGY EFFICIENCY REQUIREMENTS

- PART 9 PRESCRIPTIVE HEAT PUMP WITH FURNACE, 60 CFM FAN
- MAX 1 SONE SOUND RATINGS FOR PRIMARY EXHAUST SYSTEM
- PROVIDE SUPPLY AIR TO EACH BEDROOM
- ALL INTERIOR DOORS MUST BE UNDERCUT 12 MM. OR HAVE AIR TRANSFER GRILLS
- KITCHEN FANS ARE REQ'D TO EXHAUST AT A MIN RATE OF 100 CFM. BATH FANS ARE REQ'D TO EXHAUST AT A MIN RATE OF 50 CFM FOR INTERMITTENT RUNS AND 20 CFM FOR CONTINUOUS RUN FANS
- SUPPLY AIR INLET TO FORCED AIR HEATING FURNACE CABINET MUST BE LESS THAN 4.5 M. IN LENGTH
- THE JUNCTION LOCATION OF THE SUPPLY AIR INLET AND FURNACE AIR RETURN MUST BE LESS THAN 3.0 M. IN LENGTH
- INSULATE BEHIND WALL COMPONENTS PARALLEL WITH EFFECTIVE THERMAL RESISTANCE REQUIRED FOR THE WALL
- CONTINUOUS AIR BARRIER PER 9.36.2.9 BCBC : ACROSS JOINTS, BETWEEN ASSEMBLIES, AND AROUND PENETRATIONS (MIN 2" LAP)
- SEAL ALL JOINTS IN ENVELOPE BETWEEN STRUCTURAL COMPONENTS
- SEAL ALL JOINTS / JUNCTIONS BETWEEN WINDOW AND DOOR ASSEMBLIES AND AIR BARRIER MATERIAL
- PROVIDE SOLID BACKING FOR A / V BARRIER PENETRATIONS, SEAL AIRTIGHT
- VENTILATION REQUIREMENTS TO COMPLY WITH SECTION 9.36.3 BCBC
- DUCTS, PIPING, ELECTRICAL CABINETS ETC MUST NOT REDUCE THE EFFECTIVE INSULATING VALUES
- GAS FIRED FURNACE MUST BE < / > 220,000 BTU/HR (66 KW) IN SIZE AND HAVE AN AFUE RATING GREATER THAN OR EQUAL TO 92%
- GAS FIRED TANKLESS SWH MUST BE < / > 250,000 BTU/HR (73.2) KW IN SIZE WITH AN ENERGY FACTOR > / > 0.8



DEREK & GWEN RONKAINEN
 10485 LAKESHORE ROAD, PORT ALBERNI, B.C.

MARBAN CONSTRUCTION AND DESIGN
 112 Evelyn Crescent,
 Nanaimo BC, v9x 1a1
 250-616-9601

DATE: REVISED OCT. 26TH 2021
 PROJECT: NEW BUILD
 DRAWING: EXT. ELEVATIONS & SECTION
 SCALE: 1/4" = 1'-0"
 DRAWN BY: RACHEL BALAN
 DRAWING NO.

GEOTECHNICAL FLOOD HAZARD ASSESSMENT

Single-Family Residence
10485 Lakeshore Road,
Port Alberni, BC, Sproat Lake,
Alberni-Clayoquot Regional District

Legal Address:
Parcel A Lot 3 Plan VIP4600 District Lot
204 Land District 01 (DD 89825N),
PID: 005-983-819

Prepared For:
DBA Saywell Developments
3103 West Road
Nanaimo, BC, V9R 6X1

Attention:
Mr. Don Saywell
Saywellaccounts@shaw.ca

October 29, 2021

File No.: E0205.01
Revision No.: 01
Prepared by:
John Hessels, ASCT
Chris Hudec, M.A.Sc., P.Eng.

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Permit to Practice Number: 1001802



LEA Lewkowich
Engineering
Associates Ltd.

DISCLAIMER

1. Lewkowich Engineering Associates Ltd. (LEA) acknowledges that this report, from this point forward referred to as “the Report,” may be relied upon by the Alberni-Clayoquot Regional District (ACRD) and their building inspectors as a precondition to the issuance of a development and/or building permit and that this Report and any conditions contained in the Report may be included in a restrictive covenant under Section 56 of the Community Charter and registered against the title of the property at the discretion of the ACRD.
2. This Report has been prepared in accordance with standard geotechnical engineering practice solely for and at the expense of DBA Saywell Developments. We have not acted for or as an agent of the ACRD in the preparation of this Report.
3. The conclusions and recommendations submitted in this Report are based upon information from relevant publications, a visual site-assessment of the property, anticipated subsurface soil conditions, available floodplain data, current construction techniques, and generally accepted engineering practices. No other warrantee, expressed or implied, is made. If unanticipated conditions become known during construction or other information pertinent to the structure becomes available, the recommendations may be altered or modified in writing by the undersigned.
4. This Report was authored, to the best of our knowledge at the time of issuance, with considerations for local requirements specific to the Authority Having Jurisdiction (AHJ) and their standards for the preparation of such reports, the 2018 British Columbia Building Code (BCBC), and current engineering standards. Updates to municipal bylaws, policies, or requirements of the AHJ, or updates to the BCBC and/or professional practice guidelines may impact the validity of this Report.
5. This Report has been prepared by Mr. John Hessels, and Mr. Chris Hudec, M.A.Sc., P.Eng. Messrs. Hessels and Hudec are both adequately experienced in geotechnical engineering and hazard assessments and are also members in good standing with their respective associations, Mr. Hessels with the Applied Science Technologists & Technicians of British Columbia (ASTTBC), and Mr. Hudec with the Engineers and Geoscientists of British Columbia (EGBC).

EXECUTIVE SUMMARY

1. The following is a brief synopsis of the property, assessment methods, and findings presented in the Report. The reader must read the Report in its entirety; the reader shall not rely solely on the information provided in this summary.
2. The property, 10485 Lakeshore Road, Sproat Lake, BC, from this point forward referred to as “the Property,” is located at Sproat Lake within the central region of Vancouver Island, west of the City of Port Alberni and within the jurisdictional boundaries of the ACRD.
3. A site-specific hazard assessment was conducted to identify potential geotechnical hazards for the subject Property. The primary geotechnical hazard identified relates to the Property’s boundary with Sproat Lake and flooding due to high lake levels, wind effects and wave run-up.
4. As part of our assessment, LEA reviewed the Somass Watershed Flood Management Plan report, prepared by Northwest Hydraulic Consultants Ltd (NHC), dated May 1, 2020. It was determined that the Flood Construction Level (FCL) for any future development relating to habitable residential construction at the subject Property is 33.83m (CGVD2013) and minimum set back of 15m from the high water mark.

List of Abbreviations Used in the Report

Abbreviation	Title
ACRD	Alberni-Clayoquot Regional District
AHJ	Authority Having Jurisdiction
ASTTBC	Applied Science Technologists & Technicians of British Columbia
BCBC	British Columbia Building Code
DPA	Development Permit Area
EGBC	Engineers and Geoscientists of British Columbia
FCL	Flood Construction Level
FNB	Future Natural Boundary
GD	Geodetic Datum
LEA	Lewkowich Engineering Associates Ltd.
JEA	J.E. Anderson & Associates
MFLNRORD	BC Ministry of Forests, Lands, Natural Resource Operations and Rural Development
NB	Natural Boundary
NHC	Northwest Hydraulic Consultants Ltd.
PNB	Present Natural Boundary
SLOCP	Sproat Lake Official Community Plan



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1.0 INTRODUCTION

1.1 Background

- a. The Property is located at Sproat Lake within the central region of Vancouver Island, west of the City of Port Alberni. See Figure 1.1 below.

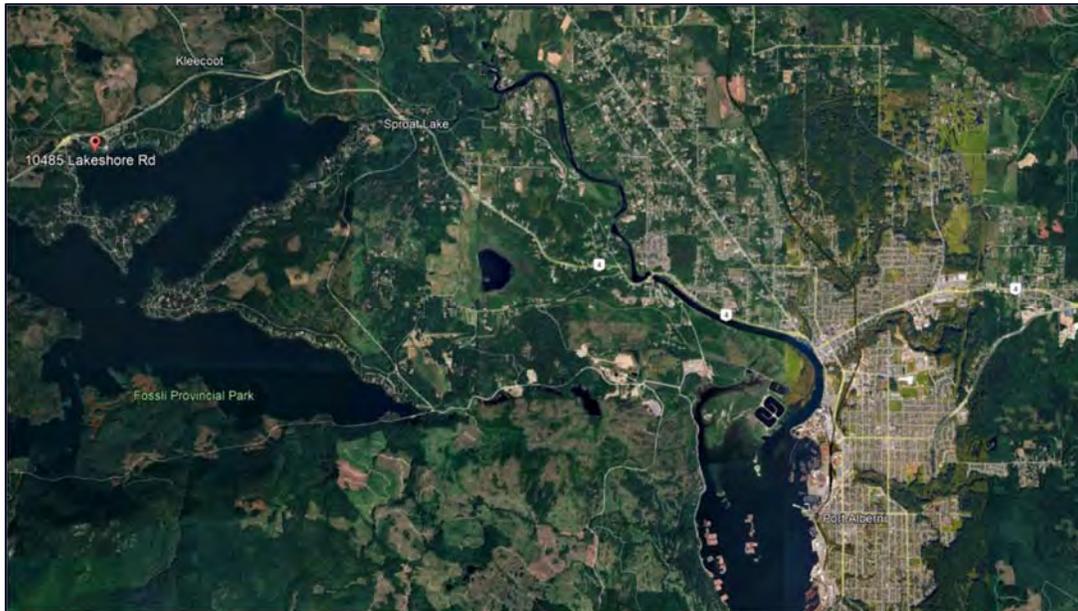


Figure 1.1 – Large Scale Location Plan (Satellite Imaging from Google Earth®)

- b. The proposed development for the Property at the time of this Report is a new residential dwelling.
- c. LEA understands the Property is located within the SLOCP area as marked on Map No. 1¹. As per SLOCP Map No. 3, the Property is shown on to be within a DPA, specifically DPA-I Riparian Area². An assessment report addressing DPA-I shall be prepared by a qualified environmental professional and is not included as part of this assessment.
- d. The current Alberni-Clayoquot Zoning By-law 1971³ states:
- “Notwithstanding anything else contained in this By-law, except where relief is granted by the Water Resources Service of the Department of Lands, Forests and Water Resources, no building shall be constructed:*
- i. Within 7.62 meters [25 feet] of the natural boundary of a lake or within 30.48 meters [100 feet] of the natural boundary of any other natural water course or source of water supply (other than a well, which is governed by the Sanitary Regulations, 1917), or*

- ii. *on ground surface less than 0.609 meters [2 feet] above 200 Year flood level (other than flood caused by tsunami) where it can be determined, or, where it cannot be determined, 3.048 meters [10 feet] above the natural boundary of a lake or any other natural water course in the immediate flood hazard area.”*

The ACRD has prepared a draft update of their zoning bylaw (Zoning Bylaw No. P1333, 2020⁴), stating:

“No building or structure shall be constructed, reconstructed, altered, moved or extended:

- i. on ground less than 0.6 m above the 200-year-flood level where this level can be determined, or 3 m above the natural boundary of a lake or any major stream as defined by this Bylaw; or*
- ii. within 15 m of a minor stream and 30 m of a major stream; or*
- iii. within 15 m of any lake; or*
- iv. unless otherwise specified in this Bylaw, within 15 m of the natural boundary of the ocean; or*
- v. These restrictions do not apply to industrial and commercial buildings and structures where the use of the waterfront is a necessary subsidiary part of the business activity.”*
- e. LEA understands that future development of the subject Property requires a geotechnical report stating what (if any) natural hazards exist that may impact the proposed development and make comment and recommendations for those hazards. The primary geotechnical hazard of concern for the Property relates to its proximity to Sproat Lake and potential flooding due to high lake levels, wind effects and wave run-up.
- f. Our assessment, as summarized within this Report, is intended to meet the following objectives:
- Determine if the land is or can be made geotechnically safe for the new single-family residence, with the probability of geotechnical failure resulting in property damage of less than;
- 2% in 50 years for seismic events,
 - 1 in 200-year return for flooding of riverine and lacustrine areas,
 - 10% in 50 years for all other geotechnical hazards.
- g. Following EGBC’s Professional Practice Guidelines for Legislated Flood Assessments⁵, this Report would be categorized as a Class 0 assessment, applicable for developments related to:
- Renovations
 - Expansions
 - New single-family residence

- New duplex residence

h. In preparation of this Report we have reviewed the most current and relevant technical documents provided by NHC, EGBC and MFLNRORD, along with historical air photo data and the attached site-specific survey information provided by JEA.

1.2 Covenant Review

- a. As part of our assessment we have reviewed the documents registered on the legal title of the Property, specifically, any restrictive covenants registered against the Property that may relate to the conclusions and recommendations provided in this Report.
- b. Current to the date of this Report, there are no restrictive covenants registered against the Property.

2.0 SITE CONDITIONS

2.1 Physical Setting

- a. The Property is located in northwestern portion of the Faber Arm of Sproat Lake and within the Electoral Area D boundaries of the ACRD. The site is situated and accessed via Lakeshore Road. The Property location is shown below in Figure 2.1.

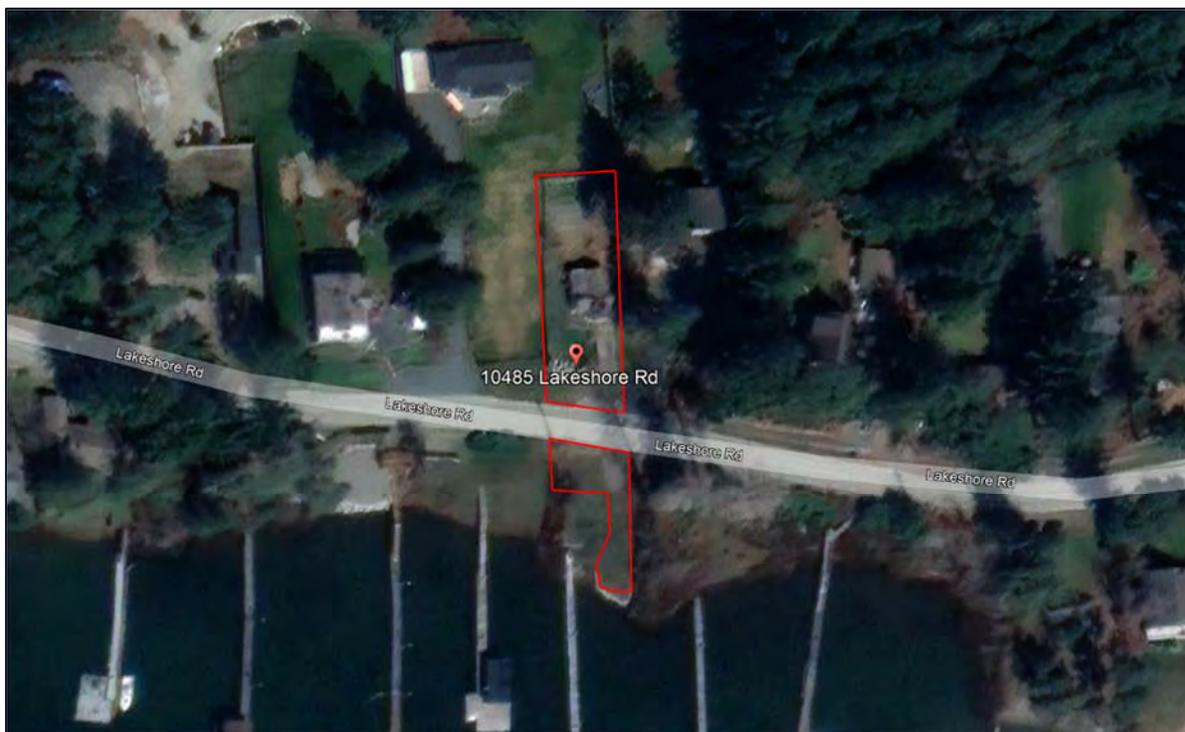


Figure 2.1 – Small Scale Location Plan (Satellite Imaging from Google Earth®)

2.2 Terrain and Features

- a. Photos from September 6th, 2021 were supplied by the client to give a visual assessment of the current site conditions. The property is developed with a single family residence in the center of the property (above the road), with a small concrete walkway leading to Lakeshore Road.
- b. The topography of the northern portion of the Property is characterized by a shallow slope of approximately 15 Horizontal to 1 Vertical (15H: 1V). The southern foreshore portion is characterized by a similar 11H: 1V slope, with a steeper slope when joining with Lakeshore Road. The attached topographic survey prepared by JRE indicates a water level elevation of approximately 28.60m (CGVD2013). We have inferred this to be the PNB elevation and location for the Property.

2.3 Soil Conditions

- a. A subsurface investigation was not included as part of this assessment. Generally, subsurface soil conditions, as encountered by this office in similar investigations in the area, consist of a layer of topsoil, underlain by compact to dense, naturally deposited sand and gravel, and/or glacially-consolidated till at shallow depths.
- b. Published surficial geology mapping identifies the area as shallow moraine, glacial till generally less than 1m thick overlying bedrock⁶.

2.4 Surface and Groundwater Conditions

- a. No ponded or surface water could be observed from the site photos nor any evidence of abnormal groundwater conditions.
- b. Groundwater flows may fluctuate seasonally with cycles of precipitation. Groundwater conditions observed at other times may differ from those observed during our assessment.

2.5 Foreshore Conditions

- a. The foreshore can be characterized as a low-lying gravelly-sand beach bordered by a short rock wall along the eastern side. A shallow grassy slope (approximately 11H:1V or 5.1°) extends from the rock wall to a Lakeshore Road to the north.
- b. Vegetation along the foreshore consists of grasses, and sparse small plants. Well-established mature trees and foliage border the east and west foreshore property areas, with some mature trees located along the eastern side of the foreshore area. The general foreshore conditions at the time of the photographs can be seen below in Figure 2.5.



Figure 2.5 – Foreshore Conditions (View looking south)

3.0 FLOOD CONSTRUCTION LEVEL

3.1 Somass Watershed Flood Management Plan Review

- a. In preparation of this Report we have reviewed the *Somass Watershed Flood Management Plan* report prepared by NHC, dated May 1, 2020⁷. The NHC report provides a detailed analysis including but not limited to, hydrology, geomorphology, hydraulic modelling, coastal assessment and wave modelling, to determine flood hazards for the Somass Watershed. We understand the Somass Watershed includes the Stamp, Ash, and Sproat Rivers; Great Central and Sproat Lake; and the Somass Estuary. Significant historical flood events were noted to have occurred at Sproat Lake in 1992, 2014, and 2016 where high water levels rose 4.86m. It is assumed this value is relative to static lake levels.
- b. The study includes floodplain maps with estimated flood boundaries and associated FCL elevations for Sproat Lake as based on the 1 in 200-year design flood event, including riverine and lacustrine climate change conditions. The FCL calculation uses a year-2100 static lake level of 32.58m (CGVD2013) for Sproat Lake including an estimated increase of overall discharge within the Somass Watershed of up to 20% by the year 2100⁸. Other components of the FCL calculation include wind set-up, seiche, wave effects relating to shoreline type, and freeboard.

4.0 DISCUSSION AND RECOMMENDATIONS

4.1 Recommended FCL

- a. The shoreline of the subject Property consists of a gravelly-sand beach and shallow grassy slope running up to Shoreline Road. Based on the shoreline reach (SL-1) and shoreline type (grassy slope) the FCL for any future development on the Property relating to habitable residential construction is **33.83m (CGVD2013)**.

4.2 Recommended Setback

- a. Provincial guidelines recommend a minimum building setback of 15m from the natural boundary of any lake⁹. Climate change effects are expected to increase the still level of Sproat Lake by 0.6m by the year 2100⁷. Applying this increase to the PNB elevation of approximately 28.60m gives an estimated FNB elevation of 29.20m.
- b. Considering the lakeshore environment and gently-sloping shoreline, the erosion hazard is deemed low for the site. Therefore, mitigation measures related to shoreline erosion are not warranted for this Property.

4.3 Floodwater and Inundation

- a. In the event of a design flood event (1 in 200-year), floodwater from Sproat Lake will inundate the Property. The general risk of flooding is expected to increase with the effects of climate change and the associated rise in lake water levels.
- b. Provided any construction within the Property satisfies the minimum recommended FCL, we do not anticipate any damage to the structure or its contained goods as a result of floodwater. However, anything constructed or stored below the recommended FCL, such as crawlspaces, basements or storage rooms, could be subject to flood damage.
- c. Following best construction practices, areas below the FCL should not be used for the installation of furnaces, major electrical switchgear, or other fixed equipment susceptible to damage by floodwater.
- d. Based on the attached Site Plan, the existing ground elevations range from 28.60 to 33.88m (CGVD2013). Considering the existing low-lying topography within the Property, and the recommended FCL, it is possible the majority of the southern half of the Property (area below roadway) could flood during a design flood event with flood depths greater than 0.90m. However, the expected flooding would be forecasted and allow for evacuation prior to reaching maximum flood levels.

4.4 Landfill and Site Grading

- a. If structural fill materials are used for foundation support, and include structural fills placed above existing site grades, further assessment may be required. Structural fills placed above existing grades may require protective measures from scour and erosion.
- b. Yard areas between the new single-family dwelling and the natural boundary should be sloped as to direct water away from the house and toward the foreshore area.
- c. Side yard areas adjacent to the new residence should be sloped as to direct potential flood waters around the house. Every effort must be made as to not direct surface water to neighbouring properties.

4.5 Local Government Conformance Statement

- a. LEA confirms that the recommendations made in this Report conform to the guidelines and objectives expressed under the current ACRD By-law 1971 (2018) and the proposed draft ACRD Zoning Bylaw No. P1333 (2020) for location and siting of structures.
- b. Sproat Lake is a defined body of water located to the south of the Property. All construction/development shall be carried out in conformance within the requirements of any jurisdictional limitations. Any jurisdictional limitations applicable to the Property and proposed development shall supersede the geotechnical recommendations made in this Report.

5.0 CONCLUSION

- a. Based on our review of the relevant publications and site-specific field assessment, it is the opinion of LEA that flooding from Sproat Lake is the only significant aspect, or potential geotechnical hazard within the subject Property.
- b. Provided the recommendations in this Report are followed, we (LEA) confirm that from a geotechnical point of view and reflecting Section 56 of the Community Charter, the lands may be used safely for the use intended, with the probability of a geotechnical failure resulting in property damage of less than:
 - 2% in 50-year for seismic events,
 - 1 in 200-year return for flooding of riverine and lacustrine areas, and
 - 10% in 50 years for all other geotechnical hazards.and that the proposed development will not result in a detrimental impact on the environment, subject Property or adjoining properties.
- c. Please refer to the attached EGBC - Appendix I: Flood Assurance Statement for additional information.

6.0 CLOSURE

- a. Lewkowich Engineering Associates Ltd. appreciates the opportunity to be of service on this project. If you have any comments, or additional requirements at this time, please contact the undersigned at your convenience.

Respectfully Submitted,
Lewkowich Engineering Associates Ltd.

A handwritten signature in black ink, appearing to read 'John Hessels', written over a faint, irregular outline of a signature.

John Hessels, ASCT
Senior Technologist

Chris Hudec, M.A.Sc., P.Eng.
Senior Project Engineer

ATTACHMENTS

1. J.E. Anderson & Associates, Sketch Plan, Parcel A (DD 89825N) of Lot 3, District Lot 204, Alberni District;
Dated August 9, 2021.
2. Engineers and Geoscientists British Columbia (EGBC) Appendix I: Flood Assurance Statement.

REFERENCES

1. Alberni-Clayoquot Regional District map, “Sproat Lake Map No. 1 Official Community Plan Area”.
2. Alberni-Clayoquot Regional District map, “Sproat Lake OCP Map No. 3 Development Permit Areas”, dated June 11, 2014.
3. Alberni-Clayoquot Regional District, “Alberni-Clayoquot Zoning By-law 1971”, updated May 3, 2018.
4. Alberni-Clayoquot Regional District, “Zoning Bylaw No. P1333, 2020”, dated July 31, 2020 Draft, accessed May 3, 2021.
5. Engineers and Geoscientists of British Columbia report titled “Professional Practice Guidelines – Legislated Flood Assessments in a Changing Climate in BC,” version 2.1, dated August 28, 2018.
6. Ministry of Environment Mapping, Produced by R.H. Guthrie and C.R. Penner, titled “Vancouver Island Geology.”
7. Northwest Hydraulic Consultants Ltd., report titled “Somass Watershed Flood Management Plan”, Ref No. 3003140, dated May 1, 2020.
8. Northwest Hydraulic Consultants Ltd., document titled “*Appendix C: Coastal Assessment and Wave Modelling*”, Section 1.7.2, Table 16, Pg. 31.
9. Ministry of Water, Land and Air Protection Province of British Columbia report titled – Flood Hazard Area Land Use Management Guidelines. Amended by: Ministry of Forests, Land, Natural Resource Operations and Rural Development, 2018.



TEL: 250-758-4631 FAX: 250-758-4660
NANAIMO - VICTORIA - PARKSVILLE - CAMPBELL RIVER

File: 89864

Civic: 10485 Lakeshore Road, Port Alberni, B.C.

Legal: Parcel A (DD 89825N) of Lot 3, District Lot 204, Alberni District.

Dimensions are in metres and are derived from Plan 4600 and field survey.

This sketch does not constitute a redefinition of the legal boundaries hereon described and is not to be used in any matter which would assume same.

This sketch plan has been prepared in accordance with the Professional Reference Manual and is certified correct this 9th day of August, 2021.

This document is not valid unless originally signed and sealed or digitally signed by BCLS

B.C.L.S.

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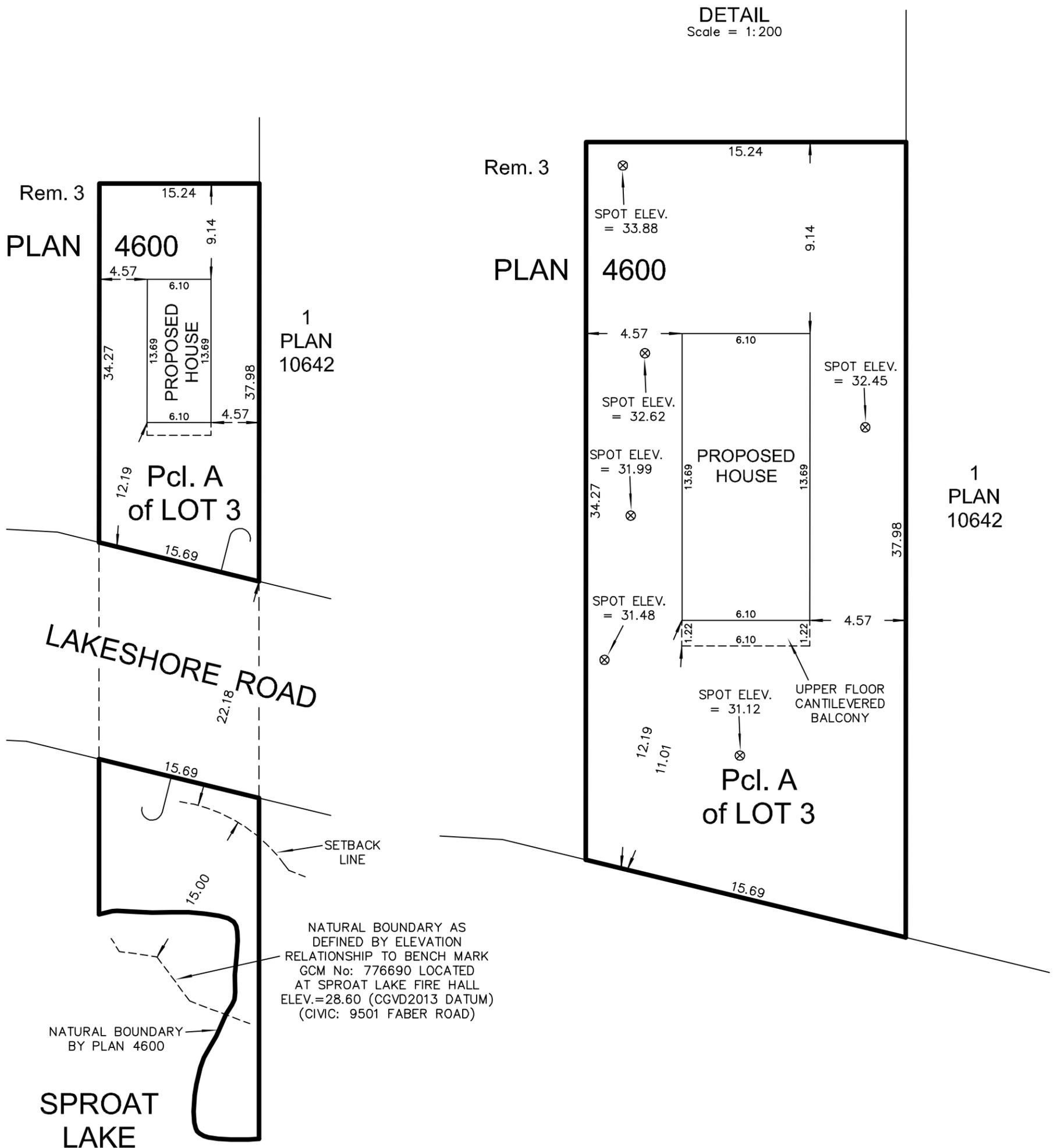
The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decision made, or actions taken based on this document.

Subject to charges, legal notations, and interests shown on: Title No. CA8560545 (P.I.D. 005-983-819)

Scale 1:400



Datum for elevations, in metres, is geodetic (CGVD2013)



FLOOD ASSURANCE STATEMENT

Note: This statement is to be read and completed in conjunction with the current Engineers and Geoscientists BC *Professional Practice Guidelines – Legislated Flood Assessments in a Changing Climate in BC* (“the guidelines”) and is to be provided for flood assessments for the purposes of the *Land Title Act*, Community Charter, or the *Local Government Act*. Defined terms are capitalized; see the Defined Terms section of the guidelines for definitions.

To: The Approving Authority

Date: October 18, 2021 LEA File# E0205

Alberni-Clayquot Regional District

3008 5th Ave., Port Alberni, BC V9Y 2E3

Jurisdiction and address

With reference to (CHECK ONE):

- Land Title Act* (Section 86) – Subdivision Approval
- Local Government Act* (Division 7) – Development Permit
- Community Charter (Section 56) – Building Permit
- Local Government Act* (Section 524) – Flood Plain Bylaw Variance
- Local Government Act* (Section 524) – Flood Plain Bylaw Exemption

For the following property (“the Property”):

Parcel A Lot 3 Plan VIP4600 District Lot 204 Land District 01 (DD 89825N), PID: 005-983-819; 10485 Lakeshore Road

Legal description and civic address of the Property

The undersigned hereby gives assurance that he/she is a Qualified Professional and is a Professional Engineer or Professional Geoscientist who fulfils the education, training, and experience requirements as outlined in the guidelines.

I have signed, sealed, and dated, and thereby certified, the attached Flood Assessment Report on the Property in accordance with the guidelines. That report and this statement must be read in conjunction with each other. In preparing that Flood Assessment Report I have:

[CHECK TO THE LEFT OF APPLICABLE ITEMS]

1. Consulted with representatives of the following government organizations:

- 2. Collected and reviewed appropriate background information
- 3. Reviewed the Proposed Development on the Property
- 4. Investigated the presence of Covenants on the Property, and reported any relevant information
- 5. Conducted field work on and, if required, beyond the Property
- 6. Reported on the results of the field work on and, if required, beyond the Property
- 7. Considered any changed conditions on and, if required, beyond the Property
- 8. For a Flood Hazard analysis I have:
 - 8.1 Reviewed and characterized, if appropriate, Flood Hazard that may affect the Property
 - 8.2 Estimated the Flood Hazard on the Property
 - 8.3 Considered (if appropriate) the effects of climate change and land use change
 - 8.4 Relied on a previous Flood Hazard Assessment (FHA) by others
 - 8.5 Identified any potential hazards that are not addressed by the Flood Assessment Report
- 9. For a Flood Risk analysis I have:
 - 9.1 Estimated the Flood Risk on the Property
 - 9.2 Identified existing and anticipated future Elements at Risk on and, if required, beyond the Property
 - 9.3 Estimated the Consequences to those Elements at Risk

FLOOD ASSURANCE STATEMENT

10. In order to mitigate the estimated Flood Hazard for the Property, the following approach is taken:
- 10.1 A standard-based approach
 - 10.2 A Risk-based approach
 - 10.3 The approach outlined in the guidelines, Appendix F: Flood Assessment Considerations for Development Approvals
 - 10.4 No mitigation is required because the completed flood assessment determined that the site is not subject to a Flood Hazard
11. Where the Approving Authority has adopted a specific level of Flood Hazard or Flood Risk tolerance, I have:
- 11.1 Made a finding on the level of Flood Hazard or Flood Risk on the Property
 - 11.2 Compared the level of Flood Hazard or Flood Risk tolerance adopted by the Approving Authority with my findings
 - 11.3 Made recommendations to reduce the Flood Hazard or Flood Risk on the Property
12. Where the Approving Authority has not adopted a level of Flood Hazard or Flood Risk tolerance, I have:
- 12.1 Described the method of Flood Hazard analysis or Flood Risk analysis used
 - 12.2 Referred to an appropriate and identified provincial or national guideline for level of Flood Hazard or Flood Risk
 - 12.3 Made a finding on the level of Flood Hazard or Flood Risk tolerance on the Property
 - 12.4 Compared the guidelines with the findings of my flood assessment
 - 12.5 Made recommendations to reduce the Flood Hazard or Flood Risk
13. Considered the potential for transfer of Flood Risk and the potential impacts to adjacent properties
14. Reported on the requirements for implementation of the mitigation recommendations, including the need for subsequent professional certifications and future inspections.

Based on my comparison between:

[CHECK ONE]

- The findings from the flood assessment and the adopted level of Flood Hazard or Flood Risk tolerance (item 11.2 above)
- The findings from the flood assessment and the appropriate and identified provincial or national guideline for level of Flood Hazard or Flood Risk tolerance (item 12.4 above)

I hereby give my assurance that, based on the conditions contained in the attached Flood Assessment Report:

- For subdivision approval, as required by the *Land Title Act* (Section 86), "that the land may be used safely for the use intended":

[CHECK ONE]

- With one or more recommended registered Covenants.
- Without any registered Covenant.

- For a development permit, as required by the *Local Government Act* (Sections 919.1 and 920), my Flood Assessment Report will "assist the local government in determining what conditions or requirements under [Section 920] subsection (7.1) it will impose in the permit".

- For a building permit, as required by the Community Charter (Section 56), "the land may be used safely for the use intended":

[CHECK ONE]

- With one or more recommended registered Covenants.
- Without any registered Covenant.

- For flood plain bylaw variance, as required by the *Flood Hazard Area Land Use Management Guidelines* and the *Amendment Section 3.5 and 3.6* associated with the *Local Government Act* (Section 524), "the development may occur safely".
- For flood plain bylaw exemption, as required by the *Local Government Act* (Section 524), "the land may be used safely for the use intended".

FLOOD ASSURANCE STATEMENT

I certify that I am a Qualified Professional as defined below.

October 18, 2021

Date

Chris Hudec

Prepared by

Chris Hudec

Name (print)



Signature

1900 Boxwood Road

Address

Nanaimo, BC, V9S 5Y2

(250) 756 0355

Telephone

chudec@lewkowich.com

Email

Reviewed by

Name (print)

Signature



(Affix PROFESSIONAL SEAL here)

If the Qualified Professional is a member of a firm, complete the following:

I am a member of the firm Lewkowich Engineering Associates Ltd.

and I sign this letter on behalf of the firm.

(Name of firm)



ALBERNI-CLAYOQUOT REGIONAL DISTRICT

3008 Fifth Avenue, Port Alberni BC, CANADA V9Y 2E3

Telephone (250) 720-2700 Fax (250) 723-1327

TEMPORARY USE PERMIT APPLICATION

TO: ACRD Board of Directors

MEETING DATE: February 9, 2022

ACRD FILE NO.: TUP18013 Renewal

APPLICANTS: Graham and Leah Collings

LEGAL DESCRIPTION: LOT 18, DISTRICT LOT 41, ALBERNI DISTRICT, PLAN 15275

LOCATION: 8905 Faber Rd

ELECTORAL AREA: "D" Sproat Lake

Applicant's Intention: To renew their Temporary Use Permit for a three (3) year period to allow for the continued operation of a short-term vacation rental at the subject property.

Recommendation: THAT the Board of Directors consider re-issuing Temporary Use Permit TUP18013 subject to neighbouring properties being notified as per Local Government Act s.494.

Advisory Planning Commission Recommendation: The Sproat Lake APC considered the application at a meeting held on January 31, 2022 where the APC passed a motion to support the planning staff recommendation.

Procedure: Prior to the issuance of a Temporary Use Permit, the Board must first pass a resolution to consider issuing the permit. Staff will then notify the neighbouring property owners and tenants and publish a notice in the newspaper to afford the public an opportunity to make written or verbal submissions to the Board. At the subsequent meeting, the Board issues or denies the Temporary Use Permit.

Observations:

- 1. Status of Property:** The subject property is 0.67 acres in size and fronts onto Sproat Lake. There is a single family residence, garage, and associated accessory buildings on the lot along with a private dock. The property slopes from Faber Road down towards the lake, with the incline running from southeast to northwest. The property is bounded by residential properties to the north and south, Sproat Lake to the west, and Faber Road and other residential properties to the east.

TUP18013 Renewal

2. Services

- a. **Sewage Disposal:** On-site septic system.
- b. **Water Supply:** On-site water (Sproat Lake).
- c. **Fire Protection:** Sproat Lake Volunteer Fire Department.
- d. **Access:** Property is accessed via Faber Road.

3. Existing Planning Policies Affecting the Site

- a. **Agricultural Land Reserve:** Not within the ALR
- b. **Official Community Plan:** The Sproat Lake Official Community Plan (OCP) designates this property as “Residential Use”. This designation supports residential activities as the primary use of the property.

Section 3.2 of the OCP contains general planning policies that apply to all properties within the OCP area. Policy 3.2.11 in this section allows the issuance of Temporary Use Permits (TUPs) at the discretion of the ACRD Board in accordance with section 493 of the *Local Government Act*.

The OCP designates a Development Permit Area (DPA) that impacts development on this property: “Development Permit Area I – Riparian Areas Protection” which includes all land within 15 metres of the natural boundary of the lake. This DPA is intended to minimize negative environmental impacts from development activities. The issuance of this TUP will not trigger DPA requirements as no new development is planned.

The proposal complies with the policies and objectives of the Sproat Lake OCP. The TUP may be re-issued to allow the requested use to continue on the subject property.

- c. **Zoning:** The property is zoned Acreage Residential (RA1) District. This zoning designation does not allow short-term vacation rentals, though a TUP may be issued to allow this use.

Under Section 493 of the *Local Government Act*, the Regional District may issue a Temporary Use Permit, by resolution, in areas designated in an Official Community Plan. Where a temporary use permit is designated in an OCP, the Regional District must give notice to the public in accordance with the requirements of the *Act*, which includes notifying the neighbouring property owners and tenants, and publishing a notice in the newspaper.

A Temporary Use Permit is valid for up to 3 years and may be renewed by the Regional District once. Temporary Use Permit TUP18013 was originally issued in October 2018 and the property owner has now applied to renew the permit. After this time has expired, the property owner must apply to rezone the property to allow for the continued use or discontinue the specified use.

Temporary Use Permit TUP18013 Renewal: The Temporary Use Permit for LOT 18, DISTRICT LOT 41, ALBERNI DISTRICT, PLAN 15275 may be subject to the following conditions and any others that the ACRD Board of Directors considers appropriate at the time of issuance:

TUP18013 Renewal

1. This permit is issued for the operation of a 4 bedroom short-term vacation rental house at the subject property.
2. The rental unit is limited to the single family dwelling currently existing on the subject property.
3. The rental unit must not change the residential appearance of the single family dwelling.
4. The owner or a caretaker must be available within 20 minutes.
5. Contact information for the owner or caretaker and a copy of the TUP must be visible in a public location.
6. This permit is valid for three (3) years from the date of execution.
7. At the time this permit expires, the property owner must return the property to the original use permitted under the current Zoning or apply for a rezoning to allow for current use.
8. The operation of the STR must be in compliance with all Provincial Health Officer orders.
9. If the conditions of this permit are not met or if there is a change of ownership of the property, the ACRD may rescind or terminate the TUP.

Comments: The Temporary Use Permit to allow for the short term rental use of this house was issued by the Board in October 2018 following engagement with the Sproat Lake APC and neighbour notification. The property owners have now applied to renew the TUP for another three (3) year term.

The STR has been operating under the existing TUP since 2018 with no concerns about the operation flagged to the Regional District since the TUP was issued. The property owners intend to continue operating the STR in a similar manner. The house is the secondary home of the applicants who reside in Vancouver. Parents of the applicants live approximately 15 minutes from the property in the Alberni Valley and have agreed to continue acting as caretakers for the rental unit. The applicants also regularly use the property and will be renting it weekly when they are not at the property during the months from May to September. The applicant has included documents including a survey, floor plan, photos and letter of sewer approval from a Registered On-site Wastewater Practitioner.

Planning staff recommend that the Board consider re-issuing Temporary Use Permit TUP18013 and direct staff to proceed with the neighbour notification process to gather public input on the application.

Submitted by: *Alex Dyer*
Alex Dyer, MCIP, RPP, Planning Manager

Reviewed by: *Michael Irg*
Mike Irg, MCIP, RPP, General Manager of Planning & Development

Approved by: *Daniel Sailland*
Daniel Sailland, MBA, Chief Administrative Officer

TUP18013 Renewal



ALBERNI-CLAYOQUOT REGIONAL DISTRICT

3008 Fifth Avenue, Port Alberni BC, CANADA V9Y 2E3

Telephone (250) 720-2700 Fax (250) 723-1327

TEMPORARY USE PERMIT NO. TUP18013

Whereas, pursuant to Section 493 of the *Local Government Act*, a local government may by resolution, on application of a property owner, issue a temporary use permit;

A Temporary Use Permit is hereby issued to:

Name: Graham and Leah Collings

Address: 8905 Faber Road

With respect to:

Legal Descriptions: LOT 18, DISTRICT LOT 41, ALBERNI DISTRICT, PLAN 15275

PID: 001-982-770

The Regional District of Alberni-Clayoquot hereby issues a Temporary Use Permit to GRAHAM AND LEAH COLLINGS with respect to properties legally described as LOT 18, DISTRICT LOT 41, ALBERNI DISTRICT, PLAN 15275 subject to the conditions as follows:

1. This permit is issued for the operation of a 4 bedroom short-term vacation rental house at the subject property.
2. The rental unit is limited to the single family dwelling currently existing on the subject property.
3. Any nuisance to surrounding properties resulting from the rental use must be minimized or eliminated.
4. The rental use of the property must not change the residential appearance.
5. The owner or a caretaker must be available within 20 minutes.
6. Contact information for the owner or caretaker and a copy of the TUP must be visible in a public location.
7. This permit is valid for three (3) years from the date of execution.
8. If the conditions of this permit are not met or if there is a change of ownership of the property, the ACRD may rescind or terminate the TUP.

At the time this permit expires, the property owner may apply to the Regional District to have it re-issued for another period of up to three (3) years or the property owner must return the property to the original use permitted under the current Zoning by way of ceasing any short term vacation rental use or rezone the property.

In accordance with the provision of Section 493 of the *Local Government Act*, approval of this permit was given by resolution of the Regional District of Alberni-Clayoquot Board of Directors on October 10, 2018.

This permit was issued under the seal of the Regional District of Alberni-Clayoquot on October 10, 2018.

Douglas Holmes, BBA, CPA, CA
Chief Administrative Officer

Chair of the Regional Board

TUP18013



ASSURANCE OF COMPLIANCE

July 13th, 2018

Graham Collings
8905 Faber Road
Port Alberni, BC
V9Y 9B9

Re: 8905 Faber Road, Port Alberni, BC Lot 18, Plan VIP 15275, District Lot 41, Land District 01, PID: 001-982-770

I hereby give assurance that:

I have conducted an inspection of sufficient thoroughness according to ASTTBC guidelines for the inspection of on-site wastewater systems to determine that the onsite sewage disposal system at the above-noted address, was built (at the time) in the matter of the applicable requirements for a building permit and is operating as per its design.

The system is not malfunctioning and has been appropriately constructed and installed given the size and projected demand on the system to be placed by any buildings or improvements that are served or are to be or are to be served by the system.

I have set out the following requirements:

- *The daily sewage flow shall not exceed 250 gallons (1,136 L) per day, (four-bedroom home).
- *Following set maintenance requirements on septic inspection.
- *No construction equipment is to be driven on, or building materials to be left overtop of any on the onsite sewage system.
- *No alteration filings are required.

Sincerely,

A handwritten signature in blue ink, appearing to read "Terry Kelloway".

Terry Kelloway ROWP#0157





Roto-Rooter - Vancouver Island
 817 Allsbrook Road, Parksville, British Columbia, V9P 2A9 Canada
 250.248.8743 O 250.248.8414 F
 GST#: 129388344

BILL TO
 GRAHAM COLLINGS
 8905 Faber Road
 Port Alberni, BC V9Y 9B9 Canada

INVOICE 31452889	INVOICE DATE Oct 28, 2020
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JOB ADDRESS
 COLLINGS
 8905 Faber Road
 Port Alberni, BC V9Y 9B9 Canada

Completed Date: 10/28/2020
Payment Term: Due Upon Receipt
Due Date: 10/28/2020

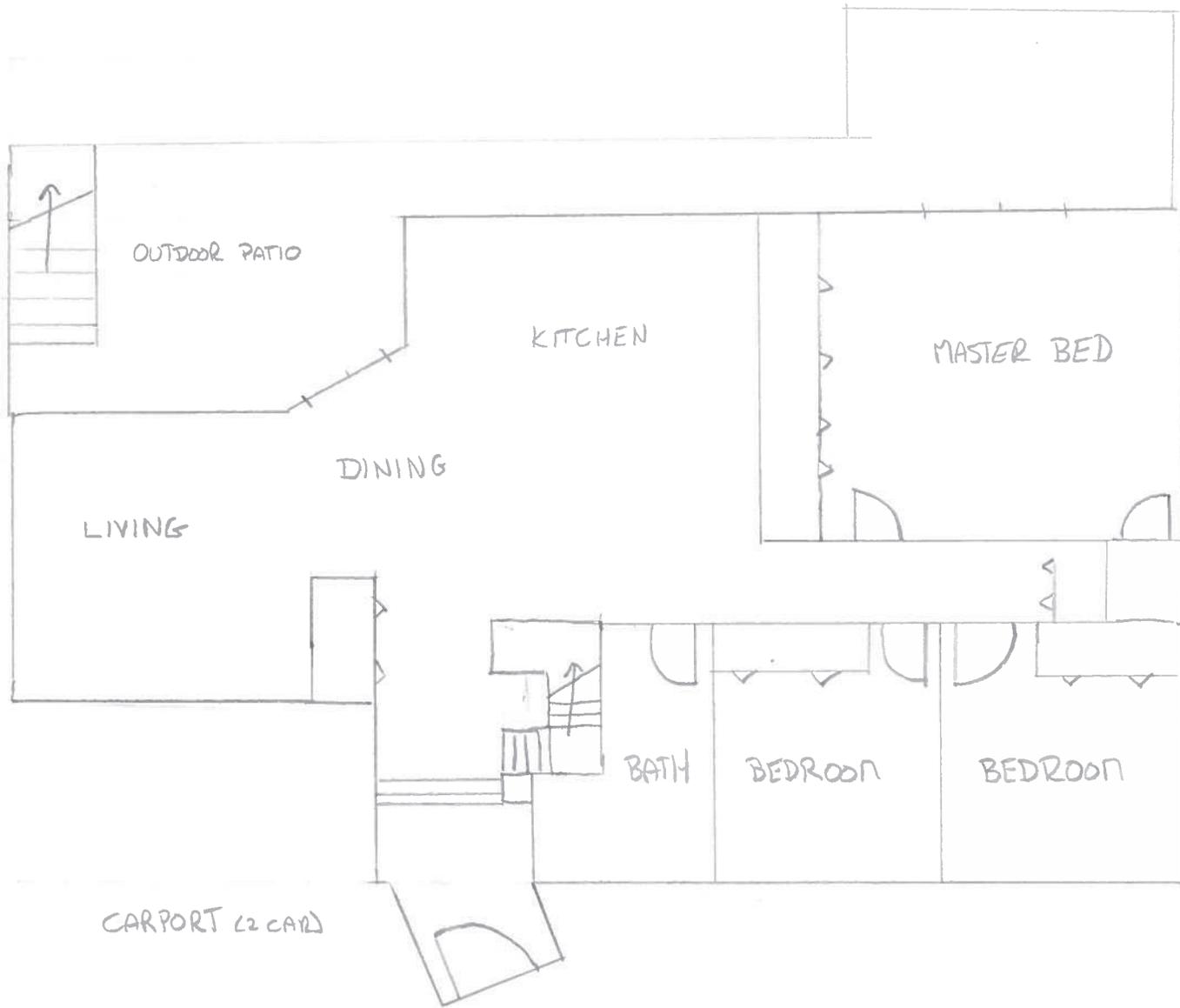
DESCRIPTION OF WORK

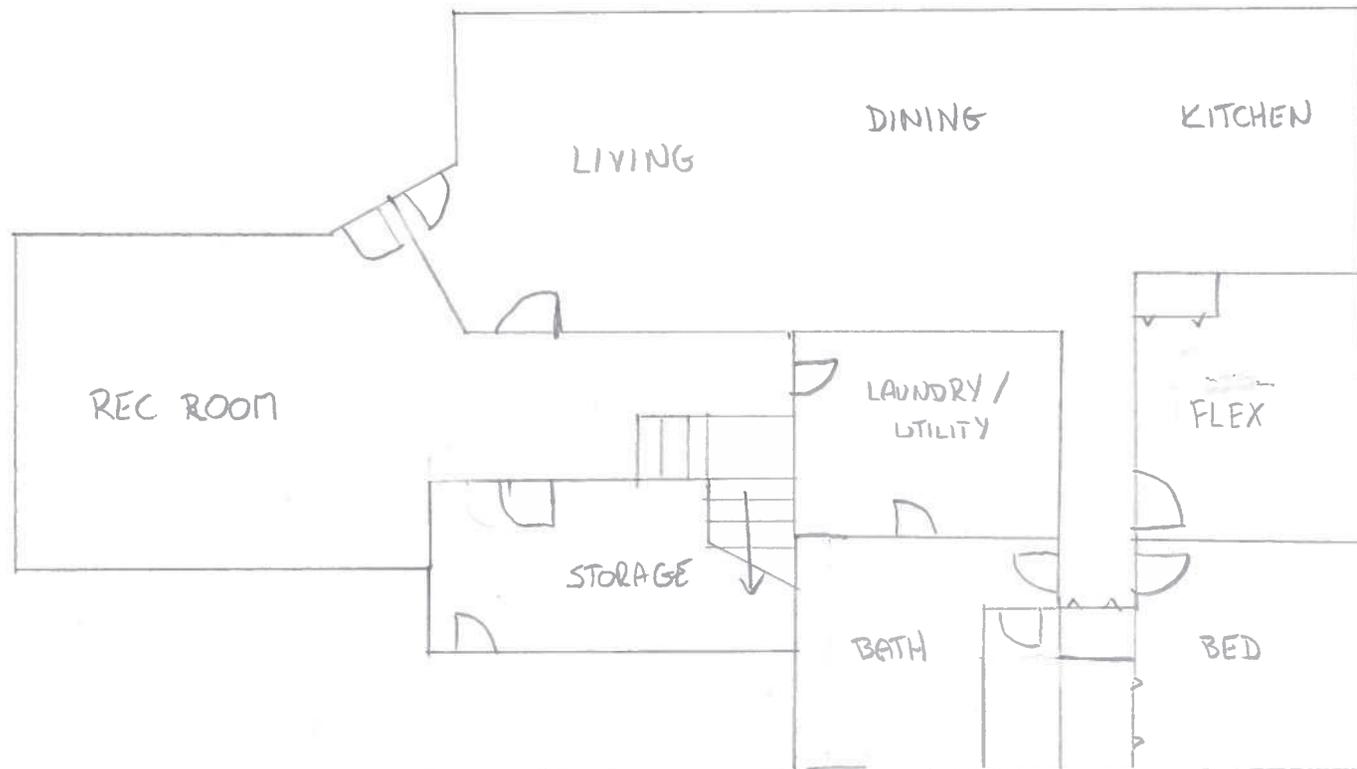
Inspected system and noted no high level alarms present. Pump float tested and confirmed as functioning at this time. Filter removed, cleaned and reinstalled.

Recommend pump out.

TASK	DESCRIPTION	QTY	PRICE	TOTAL
SPTC SRVC	Septic Service: Septic Service			
TRK CHRG	Truck Charge: Truck Charge			

PAID ON	TYPE	MEMO	AMOUNT
10/28/2020	Visa		





8905 Faber Road, Sproat Lake, BC – Photos



Lakeside frontage and lawn



Faber side frontage landscaping



Main Floor Kitchen



View from Dock to House



Main Floor Living and Dining Rooms



Master Bedroom #1

8905 Faber Road, Sproat Lake, BC – Photos



Main floor bedroom #2



Main floor bedroom #3



Lower floor bedroom



Lower floor living/dining/kitchen



Main floor Bathroom



Lower floor Bathroom



Information Report

To: Alberni-Clayoquot Regional District Board of Directors
From: Heather Zenner, Protective Services Manager
Meeting Date: February 9, 2022
Subject: Traditional Territory acknowledgement signage in Alberni-Clayoquot Regional District public facilities.

Recommendation:

THAT the ACRD Board of Directors receive this report for information.

Report:

In 2021, the Alberni-Clayoquot Regional District (ACRD) Board of Directors supported a request by staff to install Traditional Territory acknowledgement signage in ACRD public facilities supporting the ACRD Strategic Plan, Partnership and Alignment focus area, by supporting reconciliation efforts. Signage will be installed at the ACRD administration office, East Bamfield Firehall, Beaver Creek Firehall, Harold Bishop Firehall, Alberni Valley Regional Airport, and at the Long Beach Airport. Staff present this information report to update the Board on the selected wording for the signage, as follows:

The Alberni-Clayoquot Regional District serves the communities of the central and west coast of Vancouver Island that are located in the traditional territories of the Ahousaht First Nation, Ditidaht First Nation, Hesquiaht First Nation, Hupacasath First Nation, Huu-ay-aht First Nations, Tla-o-qui-aht First Nation, Toquaht Nation, Tseshaht First Nation, Uchucklesaht Tribe, and Yuułu?ii?ath. We respectfully acknowledge these traditional territories, and we are thankful for the opportunity to live, work, and learn here, with mutual respect (?iisaak - greater respect) and appreciation. ʔeekoo ʔeekoo - thank you

Submitted by: _____


Heather Zenner, MA, RPF, Protective Services Manager

Reviewed by: _____


Wendy Thomson, General Manager of Administrative Services

Approved by: _____


Daniel Sailland, MBA, Chief Administrative Officer