

REGIONAL DISTRICT OF ALBERNI-CLAYOQUOT

ZONING BYLAW NO. P1333, 2015

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BYLAW NO. P1333

A Bylaw to regulate land use and subdivision within Electoral Areas 'A', 'B', 'C', 'D', 'E' and 'F' of the Regional District of Alberni-Clayoquot

The Board of Directors of the Regional District of Alberni-Clayoquot, in open meeting assembled, enacts as follows:

PART 1 ADMINISTRATION

1.1 Title

This Bylaw may be cited for all purposes as the "Regional District of Alberni-Clayoquot Zoning Bylaw 2014", Bylaw No. P1333, hereinafter referred to as the "Bylaw."

1.2 Repeal of Bylaws

Bylaw No. 15, cited as the "Alberni-Clayoquot Zoning Bylaw 1971," and all amendments thereto are hereby repealed.

1.3 Application

The provisions of this Bylaw apply to those parts of the Regional District of Alberni-Clayoquot that are not contained within the City of Port Alberni, District of Tofino, District of Ucluelet, Huu-ay-aht First Nations, Uchucklesaht Tribe, Toquaht Nation, and Y Government lands, or any area exempted by the *Local Government Act*.

1.4 Bylaw Administration

This Bylaw is administered by officers, employees, and agents of the Regional District of Alberni-Clayoquot.

- 1.4.1 Where an application to amend this Bylaw has been refused by the *Regional Board*, no application the same as or similar to the refused amendment shall again be considered by the *Regional Board* for six (6) months after the date of refusal.

1.5 Non-conformity

- 1.5.1 Non-conforming *uses* and siting are permitted in accordance with the provisions of the *Local Government Act*.
- 1.5.2 Minimum *lot* sizes, minimum *frontage* and minimum width requirements are set out for the purposes of subdivision only. Any *lot* existing prior to the adoption of this Bylaw which, at the time of adoption of this Bylaw, fails to meet the minimum *lot* size, *frontage* requirements or width requirements of a *zone* as set out in this Bylaw, shall not, by reason thereof, be deemed to be non-conforming or unlawful. However, any *use* of the *lot* shall comply with the regulations specified for the *zone* in which it is located.
- 1.5.3 Any *building* or *structure* that conforms to the *use*, but that does not conform as to size, shape or siting at the time of adoption of this Bylaw, may be altered, repaired or extended provide that the alteration, repair or extension complies with the regulations specified for the *zone* in which it is located.

1.6 Compliance

No land, *buildings* or *structures*, including the surface of water, shall hereafter be used or occupied, no land shall be subdivided, and no *building* or *structure* or part thereof shall be erected, moved, altered or enlarged, unless in conformity with this Bylaw.

1.7 Violation

Any *person* who does any act or thing or permits any act or thing to be done in contravention of this Bylaw or who neglects to do or refrains from doing any act or thing which is required to be done by any of the provisions of this Bylaw is deemed to have violated the provisions of this Bylaw.

1.8 Inspection and Enforcement

Officers, employees and agents of the Regional District of Alberni-Clayoquot are hereby authorized to:

- 1.8.1 Enter upon any property or premises, at all reasonable times, to ascertain whether the provisions of this Bylaw are being complied with; and
- 1.8.2 Enforce this Bylaw and carry out inspections regarding the *use* and occupancy of buildings and property; and
- 1.8.3 Give notice to the owner of any property directing the owner or occupant to correct any condition which constitutes a violation of this Bylaw; and

- 1.8.4 In the event of failure to comply with such notice within the time specified, cause such work to be done, and the cost of such work shall be recoverable by the Regional District of Alberni-Clayoquot; and
- 1.8.5 In the event of event of default of payment of such assessed costs, place a charge upon the property, to be collected in the same manner as the property taxes.

1.9 Penalty

Every *person* guilty of an infraction of this Bylaw shall be liable on summary conviction to a penalty not exceeding two thousand dollars (\$2,000) for each infraction or offence. Each day that a violation or infraction exists or is permitted to exist shall constitute a separate offence under this Bylaw.

1.10 Permits and Licences

No permit or licence shall be issued for a *building, structure, or use* which violates any of the provisions of this Bylaw.

1.11 Severability

If any section, subsection, sentence or phrase of this Bylaw is for any reason held to be invalid by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of the Bylaw or the validity of the Bylaw as a whole.

1.12 Amendments to the Bylaw

- 1.12.1 An application for rezoning shall be treated as an application to amend this Bylaw.
- 1.12.2 Areas that are designated as *Comprehensive Development Areas* (CDAs) in Official Community Plans shall retain their current zoning until such time as the property owner has drafted *development* plans, discussed plans and procedures with Regional District staff and completed an application to rezone to a specific and unique comprehensive *development zone*.
- 1.12.3 Any *person* applying to have this Bylaw amended, whether a text or a zoning map amendment or both, shall apply in writing using the prescribed form, describing the proposed change, providing reasons in support of such application, and any additional information required for application review and assessment.
- 1.12.4 Where there is application to amend this Bylaw, the applicant must provide the following information:

- 1) legal description and location of the property;
- 2) names and addresses of all owners and occupiers of the property; and
- 3) if the applicant is not the owner, a letter of authorization signed by the owner.

1.12.5 Any application for a Bylaw amendment or for a permit required under **Divisions 7 to 11** of Part 14 of the *Local Government Act* shall be accompanied by a current copy of the Certificate of Title or a Title Search Document, together with copies of any covenants, easements or rights-of-way registered against the title for the subject property or properties. This requirement does not apply to Crown Land that is not registered in the Land Title Office.

1.12.6 Where it is determined that a public hearing is to be held, notice shall be given by mail to the owners and occupiers of all property within 100 metres of the closest *lot* line of the property that is the subject of the application.

1.12.7 The applicant shall be required to place within or near the property, on a site that is visible and accessible to the general public, a notice of public hearing in a form to be supplied by the Regional District of Alberni-Clayoquot.

1.13 Board of Variance

A Board of Variance has been (may be) established under the provisions of Part 26, Division 6, Section 899 of the *Local Government Act*.

PART 2 INTERPRETATION

2.1 Definitions New definitions (and some new wording) in red

In this Bylaw unless the context otherwise requires:

- ABATTOIR** means a *building or structure* designed to accommodate the penning and slaughtering of live animals and the preliminary processing of animal carcasses and may include some packing and treating of the product on the premises.
- ACCESS AISLE** means a travelling *lane* in a *parking area or parking lot* which is immediately adjacent to a *parking space*, is used for and/or is necessary for turning, backing or driving a motor vehicle into such *parking space* but is not used for the parking or storage of motor vehicles.
- ACCESSORY BUILDING** means a *building*, the *use* of which is customarily ancillary to, subordinate to and exclusively devoted to that of a principal *building* situated on the same *lot* or the *principal use* being made of the *lot*.
- ACCESSORY DWELLING UNIT (ADU)** means a second *dwelling unit*:
- 1) on a *lot* that already has a *single-family dwelling* on it or that will have a *single-family dwelling* constructed contemporaneously on it;
 - 2) that is an *accessory use*;
 - 3) that is occupied or intended to be occupied as a permanent home or residence of one *family or person*;
 - 4) that may be within or attached to the principal *dwelling unit* as a *secondary suite*;
 - 5) that may be a *carriage house* or *granny flat* within or attached to an *accessory building* such as a *garage*, barn or workshop;
 - 6) that may be a detached building such a *cabin*, *cottage* or garden suite.
- The minimum *lot size* for a *single-family dwelling* and an *accessory dwelling unit* is 0.4 ha.
- ACCESSORY USE** means a *use* which customarily is ancillary to, subordinate to and exclusively devoted to a principal *building or use* of a principal *building* or a *principal use* on the *lot* upon which such *accessory use* is located.
- AGRI-TOURISM** means, according to the ALR Regulations, a tourist activity, service or facility accessory to land that is classified as a farm under the *Assessment Act*.
- AGRICULTURE USE** means the systematic and controlled *use* of living organisms and the environment to improve the human condition. *[from ALC website]* It includes growing, rearing and

harvesting agricultural products; growing crops; fruit and berry production; growing trees and shrubs; raising, housing and grazing *livestock*, *poultry*, fur-bearing animals and bees; animal feeding and holding areas; storage of crops; and the processing of the primary agricultural products harvested, reared or produced on that farm. In the context of this Bylaw, *agriculture use* includes forest management *use*, the rough sawing of logs, horticulture, storing and repairing farm equipment used on the land, and other related *uses* including greenhouses, but excludes abnormally intensive *livestock* feeding operations, *animal care* and, on land that is not in the ALR, *intensive agriculture use*.

**AGRICULTURE
USE, INTENSIVE**

means the *use* of land, *buildings* and other *structures* by a commercial enterprise or an institution for

- 1) the growing of mushrooms;
- 2) the continuous confinement of *poultry*, *livestock* or fur-bearing animals.

ANIMAL CARE

means the treatment or hospitalization of animals in a *building*, *structure* or premises intended for that purpose and includes veterinary clinic, animal hospital and facilities for boarding or breeding *household animals* or *pets*.

**ANIMAL,
HOUSEHOLD**

See *Household Animal*.

**APARTMENT
BUILDING**

means a type of *multiple-family dwelling* divided into not less than three *dwelling units* with shared entrances, exits and other essential facilities and services, as distinct from a *hotel* or *motel* unit.

AQUACULTURE

means the cultivation, rearing, harvesting and processing of aquatic organisms on land or in tidal or non-tidal waters for commercial gain or sale as food or a food product for human or animal consumption.

ASSEMBLY

means *use* of a *property* for the gathering or meeting of *persons* for charitable, philanthropic, cultural, political, educational or other similar purpose.

AUCTION ROOM

means a place of *assembly* where general *retail* or wholesale auctioneering is carried out.

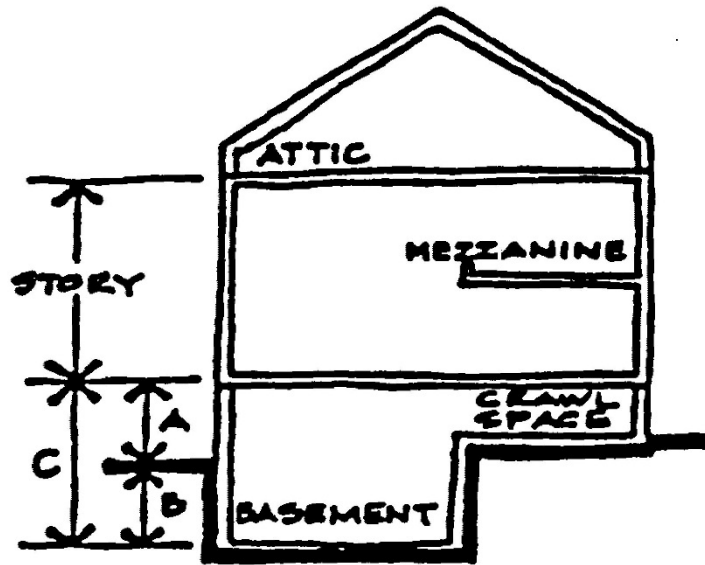
**AUTOMOBILE OR
BOAT SALES OR
RENTAL LOT**

means an open area used for the display, sales or rental of new or used passenger motor vehicles, boats, *mobile-homes* or *trailers* in operable condition, and where no repair work is done except minor incidental repair of vehicles to be displayed, sold or rented on the premises.

BASEMENT

means that portion of a *building* between two floor levels, the lower of which is below grade, but which has at least one half of its height from finished floor to finished ceiling

above adjacent *finished grade* as determined by the Building Inspector.



WHEN A IS LESS THAN B
- C IS A CELLAR

**BED AND
BREAKFAST**

means the *use* of part of a *single-family dwelling* for the accommodation of paying overnight transient guests and where breakfast is the only meal which may be served and the preparation of meals within the rented units is prohibited.

**BOARDING and
LODGING**

means a *dwelling* in which more than 2 *sleeping units* are rented, with or without meals being provided, to more than 2 and not exceeding 4 *persons*, other than members of the *family* of the tenant or owner and excludes the preparation of meals within the rented units.

BUILDING

means a *structure*, which is designed, erected or intended for the support, enclosure or protection of *persons* or property. When a *structure* is divided by *party walls* located upon *lot* lines, then each portion of such *structure* shall be deemed to be a separate *building*.

**BUILDING,
STORAGE**

means a *building* where the *principal use* is the storage of goods, wares, merchandise, substances, articles or other items and has no *habitable room*.

**BUILDING,
TEMPORARY**

means a *building* that is not intended to be permanent and includes:

- 1) any *building* (except a *garage* or other *accessory building*) not having its exterior walls supported on continuous concrete or masonry foundation or walls.
- 2) Notwithstanding clause 1) above, a *temporary building* shall also include boat shelters, bunkhouses, skid shacks, huts, tents, *trailers*, custom-built manufactured or mobile units or any other similar type of portable *building* or *structure*, whether

or not it is placed on foundations or affixed to the land in any way. A *temporary building* shall not be construed to include permanent prefabricated residential *dwelling*s, industrial, warehouse or *storage buildings* which conform to the construction standards specified in the Building Bylaw.

CAMPGROUND means a site operated and occupied at any point throughout the year as temporary accommodation for short-term, transient holiday-makers in *recreational vehicles*, wheeled *trailers* or tents. A *campground* does not include a manufactured-home or mobile-home park, *motel*, *hotel* or *motor hotel*.

CABIN means a separate *single-family dwelling unit* that may be built on continuous and full foundations or on slab and intended to be occupied on a short-term *temporary* basis by the owner, visitors or seasonal workers or, where permitted by this Bylaw, as an *accessory dwelling unit*.



CAMPING SITE means a part of a *campground* where one wheeled *trailer*, *recreational vehicle* or tent is intended to be located.

CARETAKER USE means a *dwelling* used to provide year-round or full-time accommodation for a maximum of five (5) *persons*, as an *accessory use* to *seasonal dwelling*, commercial or industrial use.

CARRIAGE HOME OR HOUSE means a *dwelling unit* attached to or located on the second *storey* of an *accessory building* with its own external access, separate from that of the access to the *accessory building*.



CARTAGE AND DELIVERY

means *use* of a *building* or *structure* by businesses engaged in local trucking, parcel delivery and similar operations, but excludes the operation of freight trucking terminals.

CELLAR

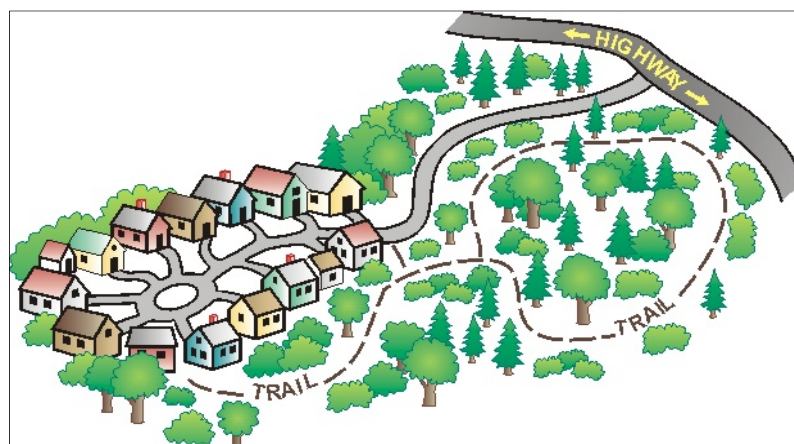
means that portion of a *building* between two floor levels, the lower of which is below grade, and which has at least one half of its height from finished floor to finished ceiling below adjacent *finished grade* as determined by the Building Inspector and not intended to be occupied as habitable space. Also see illustration in definition of *Basement*.

CLUB OR LODGE

means a *building* or establishment used by an association or organization for fraternal, social or recreational purposes and which shall be operated for the *use* of club members and their guests only.

CLUSTERING

means designing to concentrate *single-family dwellings* on a *lot* or *lots* in order to preserve *open space*, sensitive ecosystems, natural or archaeological features.



COMMERCIAL VEHICLE

means a vehicle engaged in carrying or which is designed to carry goods, wares or merchandise and which is licensed as a *commercial vehicle* under the appropriate municipal or provincial laws or regulations.

COMMUNICATION SERVICES	means radio and television broadcasting, excluding transmitters, telephone and cable systems and exchanges, and postal services.
COMMUNAL SEWER SYSTEM	means a sewer system with at least two connections and which is not owned or maintained by local government or an improvement district.
COMMUNAL WATER SYSTEM	means a water system with at least two connections and which is not owned or maintained by local government or an improvement district.
COMMUNITY CARE FACILITY	means any facility licensed or having an interim permit under the <i>Community Care and Assisted Living Act</i> or related regulations, including hospice, all facilities providing residential care for three or more children, youth, adults or seniors, and all other facilities caring for three or more children who are not related to the operator by blood or marriage. This includes: group day-care, <i>family</i> day-care, nursery <i>school</i> and child-minding facilities, facilities for out-of- <i>school</i> care, specialized day-care facilities and facilities for residential care for children.
COMMUNITY GARDEN	means any piece of land gardenized or cultivated by a group of people, utilized either individual or shared plots on private or public land. The land may produce vegetables, fruit and/or ornamentals.
COMMUNITY SEWER SYSTEM	means a sewer system with at least five connections and which is owned or maintained by local government or an improvement district.
COMMUNITY WATER SYSTEM	means a water system with at least five connections and which is owned or maintained by local government or an improvement district.
CONVENIENCE STORE	means a commercial <i>retail</i> outlet not exceeding 200 m ² in gross <i>retail floor area</i> selling food, beverage and other household convenience items for off-site consumption.
COTTAGE	means the same as <i>Cabin</i> .
COVERAGE	means the combined area covered by all <i>buildings</i> or <i>structures</i> , including <i>accessory buildings</i> and <i>accessory dwelling units</i> on the <i>lot</i> , or any projecting portions thereof, measured at the height of the lowest <i>storey</i> above grade, but excluding canopies, <i>marquees</i> and sun shades, eaves and gutters, fire escapes, porches, steps and similar projections. <i>Coverage</i> is calculated as a percentage of the <i>lot area</i> .
CRAFT DISTILLERY	means an establishment, licensed by the Province of British Columbia, that produces alcoholic beverages by distillation or by infusion by distillation, and may include a tasting room and <i>retail</i> sales of the product produced on site. It includes wineries, cideries and

craft or artisan breweries. Such activities are subject to licensing by the provincial Liquor Control and Licensing Branch and, if in the ALR, to the regulations of the *Agricultural Land Commission Act*.

- DECK** means a *structure* with no roof or walls except for visual partitions and railings, abutting a *dwelling* and constructed on piers or foundations above-grade for *use* as an outdoor living area.
- DENSITY AVERAGING** means calculating the density that would be permitted on a *lot* and allocating it to or clustering it on that portion of the *lot* that is most suitable for *development*.
- DENSITY BONUSING** means premiums and/or bonuses over the permitted *gross floor area*, according to criteria established in this Bylaw, in exchange for the provision of desirable characteristics and/or amenities as negotiated with the Regional District.
- DEVELOPMENT** means a change in the *use* of any land, *building* or *structure* for any purpose and shall include the carrying out of any clearing, digging, *building*, engineering, construction or other operation in, on, over or under land or the construction, addition or alteration of any *building* or *structure*.
- DISPLAY YARD** means an open area used for the display, *assembly* or construction of new or used vehicles, equipment, machinery or boats in operable condition, which are continually available for sale or rental, and where no repair work is done except minor incidental repair of vehicles to be displayed, sold or rented on the premises.
- DORMITORY UNIT** means a *building* or portion thereof in which *sleeping units* are provided and/or rented by an institution, agency or industry, and which is regulated and maintained by such body. It may include commercial dining facilities.
- DRIVE-IN** means a commercial establishment with facilities for accommodating and servicing customers travelling in motor vehicles, where customers remain in their vehicles and obtain goods, but does not include car washing, *drive-in* theatres or gasoline service stations.
- DUPLEX** means any *building* divided by a party wall into two *dwelling units*, each with its own entrance and each of which is occupied or intended to be occupied as the permanent home or residence of one *person* or *family*.
- DWELLING** means a *building* or portion thereof in which the *principal use* is a home or residence for one or more *persons*. It includes *accessory dwelling units*, *manufactured homes*, and *modular homes* but does not include any *hotel*, *motel*, *motor hotel*, *trailer*, *recreational*

vehicle, institution or a mobile/*manufactured home* less than five metres in width, exclusive of carports, verandas, cabanas, porches, stairways or any other extension whatsoever. A dwelling shall contain an area for sleeping, a bathroom and a properly-ventilated kitchen with facilities for the preparation and cooking of food.

DWELLING, MULTIPLE-FAMILY means any *building* consisting of three or more *dwelling* units, each of which is occupied or intended to be occupied as the permanent home or residence of one *person* or *family*.

DWELLING, SINGLE-FAMILY means any *building* consisting of one *dwelling unit* which is occupied or intended to be occupied as the permanent home or residence of one *person* or *family*, and may include a fully-enclosed *secondary suite* provided the conditions for an *Accessory Dwelling Unit* are met.

DWELLING, TWO-FAMILY means the same as *Duplex*.

DWELLING UNIT means the same as *Dwelling*.

DWELLING UNIT, ACCESSORY See *Accessory Dwelling Unit*.

FAMILY means an individual or two or more *persons* related by blood, marriage or adoption, or a group of not more than five unrelated non-transient persons, living together as a single non-profit group in a *housekeeping* or *dwelling unit* and including servants employed upon the premises.

FLOAT HOME means a house-like *structure* built on a flotation system capable of or intended for overnight *use*, occupancy or accommodation. A *float home* is intended generally to be anchored in place and is often serviced from shore.

FLOATING BOAT SHELTER means a building or structure constructed on the water adjacent to a dock, pier or wharf and intended for the protection of a boat and boating equipment.



FLOOR AREA

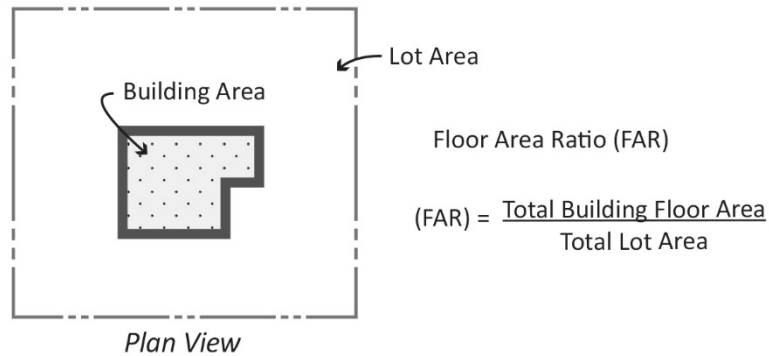
means the total horizontal area of a room or group of rooms and shall be measured between the interior finished surfaces of those walls forming the perimeter of the room or group of rooms.

FLOOR AREA, GROSS

means, in the case of a *dwelling*, the aggregate areas of all *habitable rooms*, including a *basement*, measured from the exterior faces of the exterior walls, but excluding any detached *accessory buildings*, a breezeway, unenclosed sunroom, porch and/or veranda, attic, or *cellar*. In the case of a *building* other than a *dwelling*, *gross floor area* shall mean the aggregate area of all floors measured from the outside of the exterior walls but shall not include mechanical rooms, common walls, stairwells, garbage and electrical rooms, parking *structures* and similar *uses* ancillary to the main *use*.

FLOOR AREA RATIO

means the value reached when dividing the *gross floor area* of all *buildings* on a *lot* by the area of the *lot*.



FORESHORE

means the land in tidal areas lying between the high-tide mark or *natural boundary* of the water and the mean low tide.

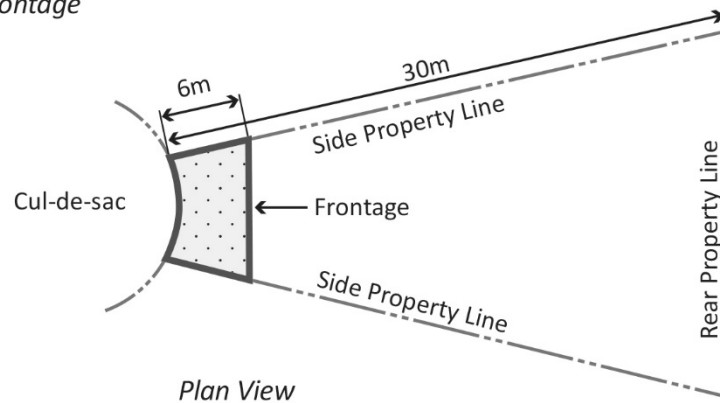
FRONTAGE

means the horizontal distance between the *side lot lines* measured at the point where the *side lot lines* intersect the *front lot line*. On *curvilinear streets*, *frontage* shall be determined by the minimum straight line distance between the *side lot lines* calculated six metres from

the front property line.

In Residential *zones* and on pie-shaped or other irregularly-shaped *lots*, *frontage* may be reduced below the minimum prescribed widths, provided that the average *lot width* throughout a depth of 30 metres measured at 5 metre intervals along a perpendicular line from the centre of the property on the *frontage street* complies with the required minimum *lot width*.

Lot Frontage



GARAGE

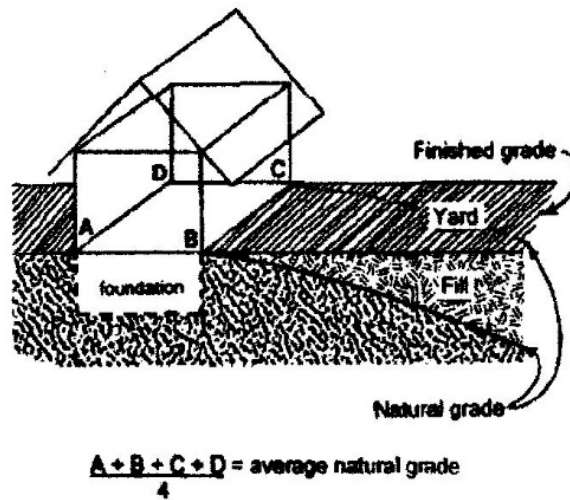
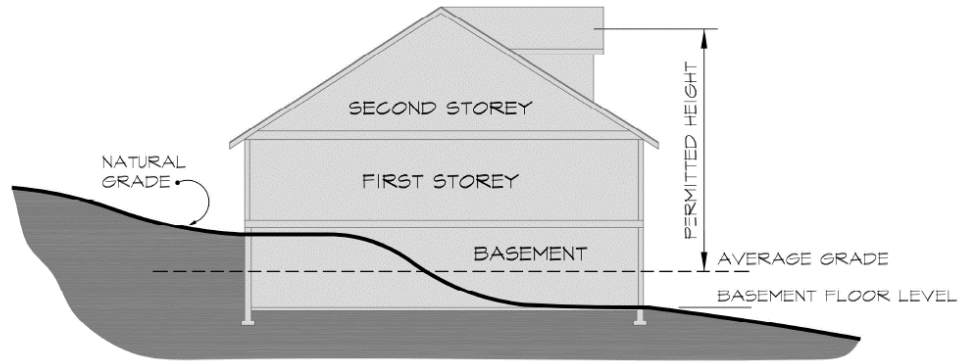
means a detached *accessory building* or a portion of a principal *building* used primarily for the parking or temporary storage of private motor vehicles and in which there are no facilities for repairing or servicing such vehicles.

**GARDEN
APARTMENT**

means a *dwelling unit* in a *multi-family dwelling* that has direct access to a garden or lawn.

**GRADE, AVERAGE
NATURAL**

means the average existing grade elevation, prior to any regarding or construction, calculated around the perimeter of the *building* or *structure* at or directly below its outermost exterior walls, measure as the average of each point of the *building* where two exterior walls of a *building* or *structure* contact each other and the ground surface. In the case of *buildings* and *structures* on the surface of water, *average natural grade* shall be the high water mark on a *building* or *structure* fixed to the bed of the water and the water mark of any floating *building* or *structure*.



GRADE, FINISHED means the top surface of an area after construction is completed, such as the top of a *road*, lawn, driveway or walkway.

GRANNY FLAT OR SUITE means an *accessory dwelling unit* that may be a *secondary suite* or may take the form of a *carriage house*.



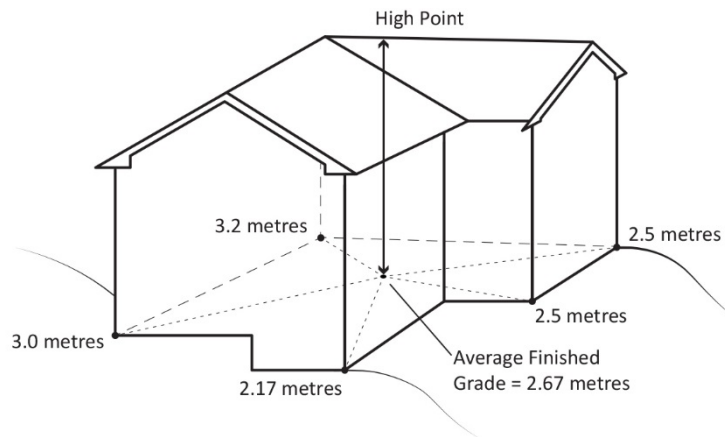
GUESTHOUSE means a *dwelling* in which a minimum of two and a maximum of six rooms are rented to more than four but not more than twelve *persons* other than members of the *family* of the owner, lessee or tenant and excludes provision of cooking facilities or preparation of meals within the rented units. A *guesthouse* shall include a sitting room, a kitchen and a dining room for the *use* of guests.

HABITABLE ROOM means a room within a *dwelling* designed for living, sleeping, eating or food preparation, including a living room, dining room, bedroom and kitchen.

HAZARDOUS MATERIAL means explosives including the following:

- 1) Gases, compressed, deeply-refrigerated, liquefied or dissolved under pressure,
- 2) Flammable and combustible liquids,
- 3) Flammable solids, substances liable to spontaneous combustion and substances that, on contact with water, emit flammable gases,
- 4) Oxidizing substances, organic peroxides,
- 5) Poisonous (toxic) and infectious substances,
- 6) Radioactive materials and prescribed substances,
- 7) Corrosives,
- 8) Miscellaneous products, substances or organisms that are considered to be dangerous to life, health, property or the environment.

HEIGHT, BUILDING or HEIGHT OF BUILDING means the vertical distance from peak or highest point of roof to average height (not curb level) of all outside corners of *building* at *finished grade*.



HEIGHT, GRADUATED means that the maximum height of an *accessory building* or *structure* may be increased where the minimum *side* and *rear yard setback* requirements established by this Bylaw for the *zone* within which the *accessory building* or *structure* is located.

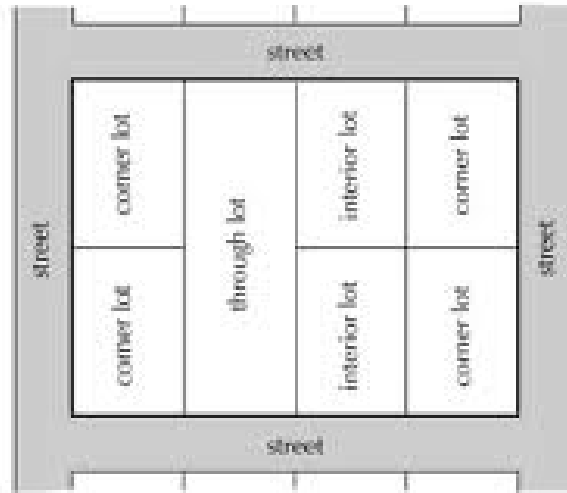
HOME INDUSTRY means a business, industry or *use* which is ancillary or secondary to a permitted *residential*

use in accordance with the provisions of Section 3.15 of this Bylaw.

HOME OCCUPATION	means an occupation, business or <i>use</i> including any homecraft, professional practice or other livelihood which is ancillary or secondary to a permitted <i>residential use</i> in accordance with the provisions of Section 3.14 of this Bylaw.
HOTEL	means a commercial <i>building</i> containing more than six <i>sleeping units</i> to provide temporary accommodation for the travelling public. No <i>sleeping unit</i> shall contain private cooking facilities and in no case shall <i>sleeping units</i> be used for any other commercial <i>use</i> . <i>Sleeping units</i> shall have separate entrances through a common hallway.
HOTEL, MOTOR	See <i>Motel or Motor Hotel</i> .
HOUSEBOAT	means a flat-bottomed vessel, watercraft or boat that is fitted for <i>use</i> as a floating <i>dwelling</i> and that can be motored from location to location, but is not intended for permanent <i>residential use</i> .
HOUSEHOLD ANIMAL	means a domesticated animal such as a cow, horse, goat or <i>poultry</i> kept by a household and used or the product of which is used primarily and directly by the household and not for sale or business purposes.
HOUSEKEEPING UNIT	means two or more <i>habitable rooms</i> , used or designed to be used together, as living quarters for not more than one <i>person</i> or <i>family</i> and containing at least one kitchen or kitchenette and one bathroom, equipped with at least one toilet, one basin, one sink and one bath or shower.
INDUSTRY, HEAVY	means a <i>use</i> providing for wholesaling, processing, fabricating, warehousing, testing, assembling, servicing, repairing, <i>manufacturing</i> , distributing or maintaining resources, goods or materials and may include bulk storage, scrap salvage, motor vehicle salvage, wood processing, meat and seafood processing, automobile service stations and <i>retail</i> sales accessory to a permitted <i>use</i> .
INDUSTRY, LIGHT	means a <i>use</i> providing for the fabricating, <i>manufacturing</i> , warehousing, testing, servicing, repairing or maintaining of goods or materials, <i>medical marijuana facility</i> and may include <i>retail</i> and wholesale sales accessory to the <i>principal use</i> but specifically excludes resource processing, asphalt batch plant, sawmill, metal fabrication, motor vehicle salvage, scrap salvage, wrecking yards, bulk storage and wood, meat and seafood processing.
INTENSIVE AGRICULTURE USE	See <i>Agriculture Use, Intensive</i>

KENNEL	means any <i>building, structure</i> , compound, group of pens or cages or land on or in which five or more dogs or cats are or are intended to be trained, cared for, bred, boarded or kept for any purpose whatsoever, and shall include any <i>building</i> or part thereof in which two or more dogs are kept for breeding purposes.
KINDERGARTEN	means a <i>building or structure</i> to which pre- <i>school</i> children are sent for education experience but not for supplemental parental care.
LANDSCAPING AND LANDSCAPED	means the planting of lawns, shrubs and trees and the addition of fencing, walks, drives, or other <i>structures</i> and materials so as to enhance the appearance of a property or, where necessary, to effectively screen a <i>lot</i> , site or <i>storage yard</i> . NOTE: <i>Landscaping</i> may be subject to Development Permit guidelines.
LANE	means a thoroughfare or highway which affords only a secondary means of access to a <i>lot</i> , at the <i>side lot line</i> or <i>rear lot line</i> .
LIVESTOCK	means animals used for agricultural purposes and sold or the products of which are sold and includes cattle, horses, mules, donkeys, buffalo, water buffalo, sheep, goats, <i>ratites</i> , llamas, alpacas, swine, rabbits, fish and fur-bearing animals.
LOADING SPACE	means an off- <i>street</i> space on the same <i>lot</i> as the <i>building</i> , or contiguous to a group of <i>buildings</i> , for the temporary parking of a <i>commercial vehicle</i> while loading or unloading merchandise or materials and which abuts upon a <i>street, lane</i> or other appropriate means of access.
LODGE	See <i>Club or Lodge</i> , except for the Comprehensive Development 1 Zone and the Country Residential Comprehensive Development 1 Zone, which have <i>zone</i> -specific definitions.
LOT	means any <i>lot</i> , block or other area in which land is held or into which it is subdivided, including a bare land <i>strata lot</i> , but does not include a highway, common <i>strata road</i> access or a <i>building strata lot</i> under the <i>Strata Property Act</i> . Each <i>lot</i> has an individual legal description and is capable of being registered in the Land Title Office.

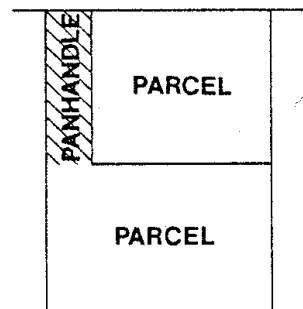
ILLUSTRATION OF LOT TYPES



LOT AREA

means the total horizontal area within the *lot* lines of a *lot*, but excludes any panhandle used to access the balance of the *lot*.

HIGHWAY



LOT, CORNER

means a *lot* at the intersection or junction of two or more *streets*. See illustration under *Lot*.

LOT COVERAGE

means the same as *Coverage*.

LOT, INTERIOR

means a *lot* other than a *corner lot*.

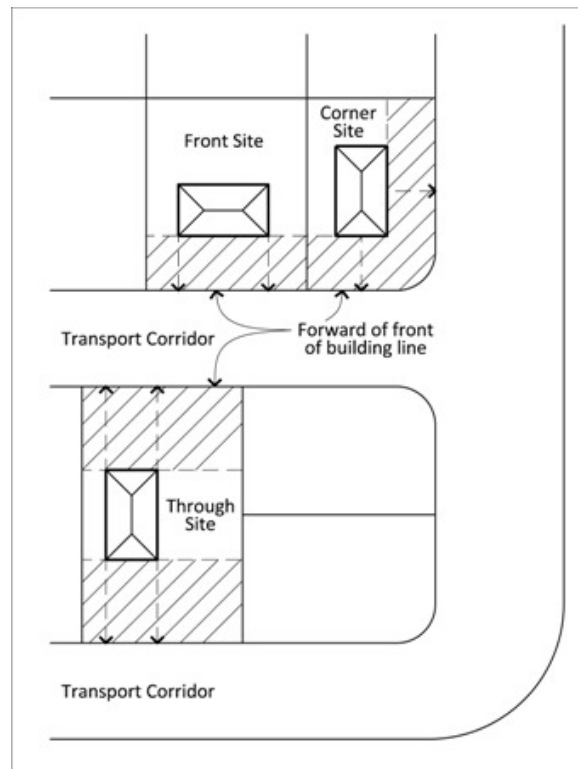
LOT LINE, FRONT

means the boundary line between a *lot* and a *street* on which the *lot* abuts.

- 1) In the case of a *corner lot*, a lot line shall be considered a *front lot line* if the adjacent *lot* fronts on the same *street*. In the case of a *corner lot* where adjacent *lots* front on the perpendicular *streets*, the shortest *lot* line shall be considered the *front lot line*. See illustration below.
- 2) In the case of a *through lot*, the *lot* lines abutting on two parallel or approximately

parallel *streets* shall both be considered as *front lot lines*.

- 3) In the case of a water access *lot* which only abuts on a *waterfront* walkway or a *waterway* giving boat access, the *lot* line nearest to or adjacent to the water shall be considered the front line of a *lot*.
- 4) In the case of a *lot* which abuts on a *street* and which abuts on a *waterway* giving boat access, the *lot* line adjacent to the *waterway* is designated as the *front lot line*.
- 5) Where the *lot* does not have a *lot* line that abuts on a public highway or private *road* or *waterfront*, the front line of the *lot* shall be as determined by the Building Inspector.
- 6) Where a *lot* is divided by a public way such as a dedicated *road, lane* or walkway, both sides of such public way shall be considered as *front lot lines*.



LOT LINE, REAR means the boundary line of a *lot* furthest from and opposite to the *front lot line*, except that there shall not be more than one *rear lot line*.

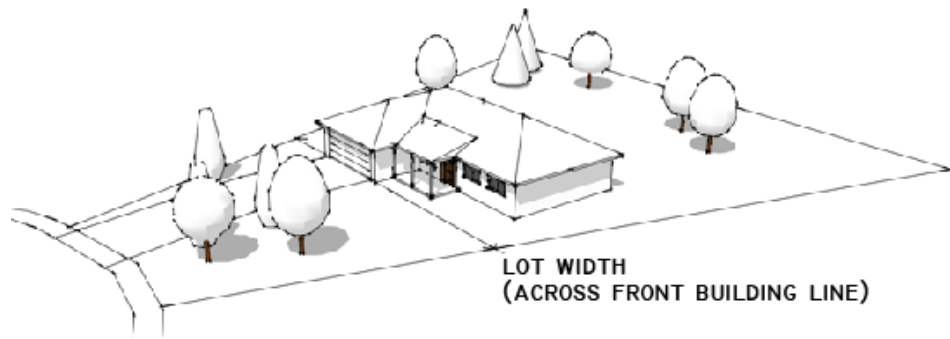
LOT LINE, SIDE means a boundary line of a *lot* connecting front and *rear lot lines*.

LOT, STRATA means a *lot* shown on a strata plan.

LOT, THROUGH means a *lot* abutting on two parallel or approximately parallel *streets*. See illustration under *Lot*.

LOT WIDTH means the average horizontal distance between *side lot lines* measured at right angles to

the *lot* depth connecting the front and rear *lot lines*.



MAJOR STREAM See *Stream, Major*.

MANUFACTURED HOME means any prefabricated *structure*, whether ordinarily equipped with wheels or not, that is built on a permanent chassis, largely assembled in the factory and transported to a site for use as a *dwelling unit*. It is designed to conform to Canadian Standards Association (CSA) Z240-MH series standard and may be moved from one place to another by being towed or carried. It can be used as a permanent *dwelling* when it is placed on a suitable foundation, connected to utilities and meets the requirements of the BC Building Code. It does not include *trailers* and recreational vehicles.



MANUFACTURING means large scale processing of raw materials to produce goods or products and includes *assembly* of component parts. Does not include boiler and plate work, cement *manufacturing*, metal fabrication, paper *manufacturing*, sawmilling, pulp milling or ship *building*.

MARINA USE means water-oriented activities including commercial moorage, float and boat ramps, boat houses or shelters, rental of watercraft, marine fuel sales, pump-out facilities for sewage disposal, facilities for disposal of waste oil and bilge water, washroom, accessory off-*street* parking, accessory boat repair, commercial *retail uses*, *office* space accessory to the above

uses and incidental transient overnight accommodation on a vessel or watercraft. It does not include watercraft sales, transient commercial overnight accommodation in a watercraft or vessel or permanent or *seasonal dwelling use* in a *float home* or vessel.

MARINE TRANSPORTATION means the movement of a *person* or *persons* by watercraft or vessel, but does not include transient, commercial overnight accommodation.

MARQUEE means a permanent roofed *structure* attached to or supported by a *building* and projecting over sidewalks or rights-of-way.

MEDICAL MARIJUANA FACILITY means a *building* or *structure*, approved and licensed by Health Canada, for the production, growing and incidental processing of medical marijuana, but specifically excludes storefront or *retail* outlet distribution of medical marijuana.

MEDICAL SERVICES means health professions and services such as, but not limited to doctors, dentists, chiropractors, osteopaths, registered nurses, physio and massage therapists; includes clinics and health labs.

MINI-STORAGE means self-contained storage rental units, with independent external entrances, for the storage of general household goods, vehicles and the like.

MINOR STREAM See *Stream, Minor*.

MOBILE HOME means the same as *Manufactured Home*.

MODULAR HOME means a factory-built home, other than a *manufactured* or *mobile home*, which is not equipped with a permanent hitch or other device that would allow it to be attached or towed behind a motor vehicle, and which does not have permanently attached to its body or frame any wheels or axles, and meeting the CSA-A277 standard. It does not include *trailers* or *recreational vehicles*.



MOTEL or MOTOR HOTEL	means a <i>building</i> or group of <i>buildings</i> wherein more than six (6) units of sleeping accommodation is provided, for temporary occupation by transient motorists, none of which shall be used for <i>retail</i> trade. Each <i>sleeping unit</i> shall have a separate exterior entrance. A <i>motel</i> may include a café or restaurant and such ancillary facilities as self-service laundry. Each <i>sleeping unit</i> shall be self-contained, having its own bathroom with a toilet, wash basin and bath or shower. Each <i>sleeping unit</i> shall have its own <i>parking space</i> conveniently located on the <i>lot</i> and may contain basic cooking facilities in the units.
MOTOR VEHICLE REPAIR SHOP	means a <i>building</i> used or intended to be used for major repairs to motor vehicles, <i>trailers</i> and parts thereof.
NATURAL BOUNDARY	means the visible high-water mark of any lake, river, <i>stream</i> or other body of water where the presence and action of the water are so common and usual, and so long continued in all ordinary years, as to mark upon the soil of the bed of the lake, river, <i>stream</i> or other body of water, a character distinct from that of the banks thereof, in respect to vegetation, as well as in respect to the nature of the soil itself.
OFFICE	means the <i>use</i> of a room or group of rooms within a <i>building</i> to conduct the affairs of a business, profession, service, industry or government.
OPEN SPACE	means an area consisting largely of open areas, which may include <i>communal water systems</i> , <i>communal sewer systems</i> , <i>roads</i> , trails, transmission lines, recreational areas, natural areas, playgrounds, playing fields or similar <i>uses</i> , but does not include a <i>campground</i> .
PARKING AREA OR LOT	means an open area of land, other than a <i>street</i> or <i>lane</i> , used for the parking of vehicles. May be used for either commercial or non-commercial activity.
PARKING SPACE	means a space within a <i>building</i> or a <i>parking lot</i> for the parking of one vehicle, excluding driveways, ramps and <i>access aisles</i> .
PERSON	means an entity such as a firm, association, organization, partnership or corporation as well as an individual.
PERSONAL SERVICE	means an activity or establishment primarily engaged in providing services involving the care of a <i>person</i> or his or her personal goods or apparel. <i>Personal services</i> usually include the following: dry cleaning, laundry including cleaning and pressing service, linen supply, diaper service, beauty shops, barbershops, shoe repair, funeral home, steam baths, fitness centres, reducing salons and health clubs, clothing rental, locker rental, porter service and domestic services, but can include animal grooming services.

PET	means a domesticated animal kept by a household and used or the product of which is used primarily and directly by the household and not for sale or business purposes, and includes dogs and cats, but specifically excludes <i>livestock</i> .
PETTING FARM	means an operation designed for the display of domesticated animals such as horses, cattle, llamas, sheep, goats, swine, rabbits and <i>poultry</i> to the public and providing an area for direct contact between the public and the animals.
PLACE OF WORSHIP	means a church, temple, mosque, synagogue and the like, but excludes <i>schools</i> .
POULTRY	means domesticated birds kept for eggs, meat, feathers, hide or other related purposes and includes Cornish hens, layers, meat birds, breeding stock, replacement pullets, roasters and ducks. On properties zoned to permit <i>agriculture</i> , also includes geese, turkeys, game birds and <i>ratites</i> .
PRINCIPAL USE	means the main purpose for which land, <i>buildings</i> or <i>structures</i> are ordinarily used.
RATITE	means a bird that has small or rudimentary wings and no keel to the breastbone, and includes ostriches, rheas, and emus.
RECREATIONAL VEHICLE	means a vehicle which provides sleeping and other facilities for a <i>person</i> or <i>persons</i> , while travelling or vacationing, whether designed to be towed behind a motor vehicle or self-propelled.
REGIONAL BOARD	means the governing and executive body of the Regional District of Alberni-Clayoquot.
RESIDENTIAL FLOOR AREA	means the sum of the internal private floor areas of all <i>dwelling units</i> in all <i>buildings</i> on a <i>lot</i> including <i>basements</i> located within a <i>dwelling unit</i> and areas occupied by internal walls and partitions within a <i>dwelling unit</i> , but excluding balconies, common stairwells, common corridors, <i>cellars</i> , concealed <i>parking areas</i> and common recreation or service facilities.
RESIDENTIAL USE	means <i>use as a single-family dwelling</i> , <i>use as a boarding, lodging</i> or rooming house or as permitted in the relevant <i>zone</i> in this Bylaw.
RETAIL	means a <i>use</i> or <i>building</i> or part thereof in which foods, wares, merchandise, substances, articles or things are offered or kept for sale directly to the public.
RIDING ACADEMY	means a stable for the accommodation of horses for hire or for a riding club.
ROAD	means a public highway, <i>street</i> or thoroughfare which affords the principal means of access

to abutting *lots*.

ROOF AREA

means the horizontal area of a roof regardless of the style or slope of the roof.

ROW HOUSING

means a block of a least three and not more than eight side-by-side *dwelling units*, each having a separate entrance and separate yard space, and attached at the side by a party wall to the adjacent *dwelling unit*.

SCHOOL

(blended private and public)

means an institution or organization providing an educational program offered by a district pursuant to the *School Act*, an independent *school* pursuant to the *Independent School Act*, or a college or community college constituted and established pursuant to a provincial statute, and may include *boarding schools* and *schools* for philanthropic or religious purposes.

SCREENING or SCREENED

means a continuous tight board *fence* or wall uniformly finished or a compact evergreen hedge or combination thereof, the height of which is determined by the *zone* in which the property is located, and supplemented with *landscape* planting, that would effectively screen the property which it encloses, and is broken only by access driveways and walkways.

SEASONAL DWELLING

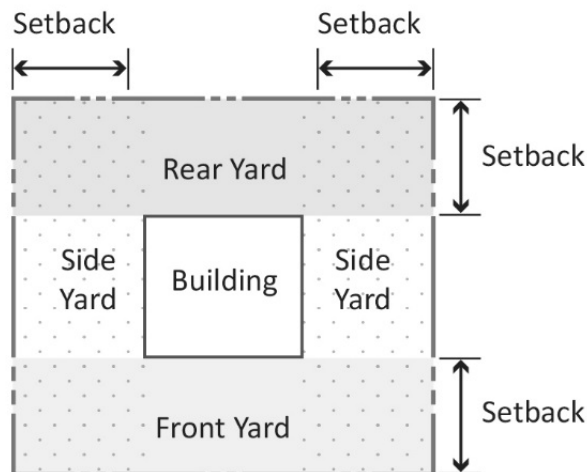
means a *dwelling unit* used for a secondary, vacation or recreational home for a maximum of 180 days per year.

SECONDARY SUITE

means a secondary suite as defined by the *British Columbia Building Code*

SETBACK

means the required minimum distance between a *building* or *use* and each of the respective *lot* lines. No *development* shall occur within a *setback* unless permitted by this Bylaw.



SETBACK FROM A STREAM means the required minimum horizontal distance between a *building, structure or use* and the *natural boundary* of the *stream*.

SETBACK FROM THE OCEAN means the required minimum horizontal distance between a *building, structure or use* and the *natural boundary* of the ocean and applies to the Bamfield area only.

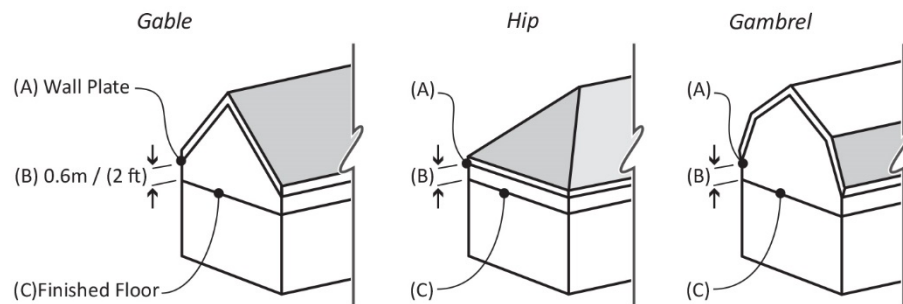
SLEEPING UNIT means one or more *habitable rooms* used or intended to be used for sleeping, or sleeping and living purposes, but not including a kitchen sink or cooking facilities. A bathroom containing a toilet, wash basin and a bath or shower may be shared.

STORAGE BUILDING See *Building, Storage*.

STORAGE YARD means an area outside of an enclosed *building* where contractors' or construction materials and equipment, solid fuels, lumber and new *building* materials, monuments and stone products, public service and *utility* equipment, or other materials, goods, products, vehicles, equipment or machinery are stored, baled, piled, handled, sold or distributed, as a principal or an *accessory use*. A *storage yard* does not include an automobile wrecking yard, a *display yard* or a *junk yard*.

STOREY means a space between two floors, or between any floor and the upper surface of the floor next above, except that the topmost *storey* shall be that portion of a *building* included between the upper surface of the topmost floor and the ceiling above. A *basement* which contains *habitable rooms* or living space shall be considered as a *storey*.

STOREY, HALF means a *storey* under a gable, hip or gambrel roof, the wall plates of which at least two opposite exterior walls are not more than 0.6 m above the floor of such *storey*.



STRATA LOT See *Lot, Strata*.

STREAM means any of the following that provides fish habitat:

- 1) a watercourse, whether it usually contains water or not;

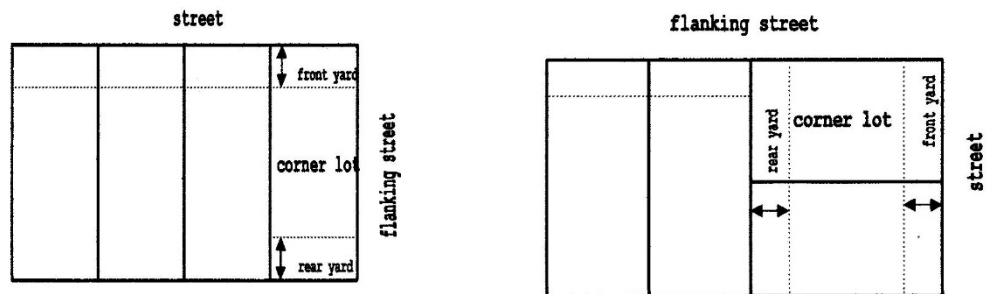
- 2) a pond, lake, river, creek or brook;
- 3) a ditch, spring or wetland that is connected by surface flow to something referred to in paragraph (a) or (b). *(from RAR)*

STREAM, MAJOR means any *stream* designated as “major” in the appropriate Official Community Plan and includes the following: Alberni Inlet, China Creek, Somass River, Stamp River, Kennedy River, Taylor River, Bamfield Inlet, Grappler Inlet and Ucluelet Inlet.

STREAM, MINOR means any named or unnamed *stream* not designated as a *major stream*.

STREET means the same as *road*.

STREET, FLANKING means the *street* abutting a *corner lot* on a side other than the front.



STRUCTURE means anything constructed or erected, the *use* of which requires location on the ground or attachment to something having location on the ground, but shall not include walls or fences that do not exceed the height permitted in the *zone* in which they are located.

TERMPORARY FARM WORKER(S) means an individual or individuals who carry out agriculture work on a temporary, seasonal basis on a farm operation and are registered with a federal government temporary worker program. *(from MoA’s “Guide for Bylaw Development in Farming Areas”.)*

TEMPORARY FARM WORKER HOUSING means accommodation that is used solely for the purpose of providing cooking, sanitary and sleeping facilities to temporarily house *temporary farm worker(s)* on a farm operation as necessary for the agricultural labour needs of a farm operation or other farms, if permitted. *(from “Guide for Bylaw Development ...”)*

TRAILER means any portable *structure* or vehicle used or designed and equipped to be used for living or sleeping purposes while traveling or vacationing and which is designed or intended to be mobile on land, whether self-propelled or towed.

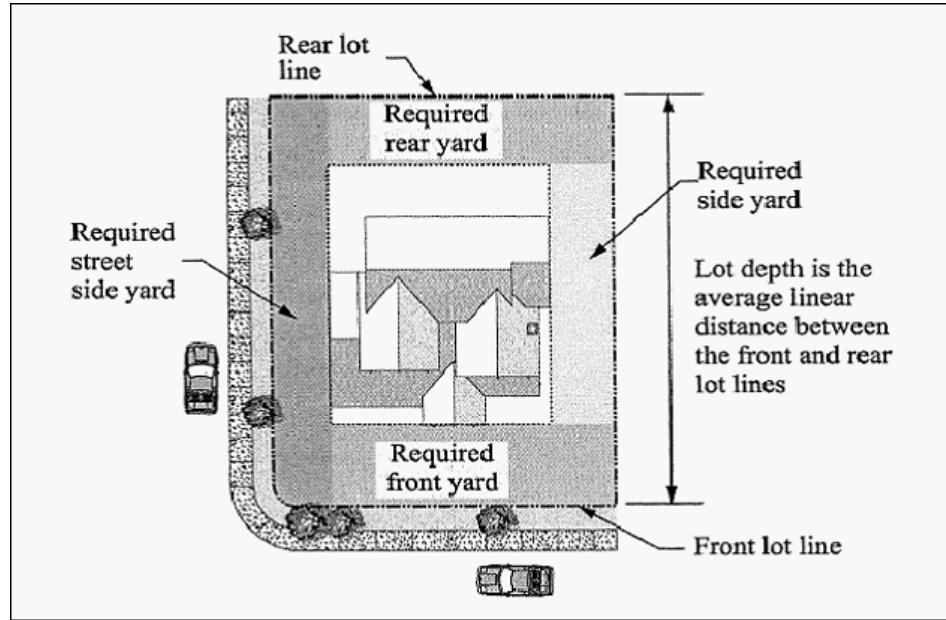
UPLAND means land located or lying higher or above the *natural boundary* of a body of water.

USABLE OPEN SPACE	means a level, unobstructed area or areas, available for safe and convenient <i>use</i> by all the <i>building's</i> users and occupants, having no dimension less than 6.0 m and no slope greater than 10 percent, and providing for greenery, recreational space and other leisure activities normally carried on outdoors. Usable <i>open space</i> shall exclude areas used for off-street parking, off-street loading, service driveways, public walkways and required <i>front yards</i> . Not more than half of the usable <i>open space</i> required for any <i>dwelling unit</i> may include <i>roof areas</i> or roof gardens where no dimension is less than 6.0 m, private balconies where no dimension is less than 1.5 m and private patios where no dimension is less than 2.4 m.
USE	means the purpose for which any <i>lot</i> , parcel, tract of land, <i>building</i> or <i>structure</i> is designed, arranged or intended, or for which it is occupied or maintained.
UTILITY	means a system, works, plant, operative stationary equipment or service which furnishes services and facilities, available to or for the <i>use</i> of all the inhabitants of the service area, including but not limited to: <ol style="list-style-type: none"> 1) communication by way of telephone or cable or satellite; 2) public transportation by bus or trolley coach; 3) production, transmission, delivery or furnishing of water, gas or electricity to the public at large; and 4) collection and disposal of sewage, garbage and other wastes.
UTILITY, MINOR	means a system, works, plant or service such as: <ol style="list-style-type: none"> 1) pumping stations, pressure-reducing stations, switching stations, radio repeater stations, microwave towers, weather stations and similar <i>uses</i> having a maximum area of 0.2 hectares; 2) rights-of-way for railways, conduits, transmission lines, gas pipelines and similar <i>uses</i>; but does not include <i>uses</i> permitted under Section 4.72, the Community Service (CS) <i>zone</i> or subsection 4.20.1 12) of the Resource (RE) <i>zone</i> .
WATER RECREATION USE	means <i>uses</i> and activities such as swimming, fishing, water-skiing, all forms of sub-aqua and diving activities, boating, sailing, kayaking, canoeing, paddle-boarding, board-sailing and similar <i>uses</i> , but excludes any activity having an element of permanent or <i>seasonal dwelling use</i> or transient commercial overnight accommodation on a vessel, watercraft, <i>float home</i> or similar craft.
WATERFRONT	means land that borders a body of water and, in tidal areas, that is <i>upland</i> of the <i>natural boundary</i> of the water.
WINERIES OR	See <i>Craft Distillery</i> .

CIDERIES

YARD, FRONT

means that portion of the *lot*, extending from one *side lot line* to the other, between the front line of the *lot* and a line drawn parallel thereto. The depth of such yard shall mean the perpendicular distance between the front line of the *lot* and the parallel line. In the case of a *through lot* there shall be two such *front yards*.



YARD, REAR

means that portion of the *lot*, extending from one *side lot line* to the other, between the rear line of the *lot* and a line drawn parallel thereto. The depth of such yard shall mean the perpendicular distance between the rear line of the *lot* and the parallel line.

YARD, REQUIRED

means the minimum front, rear, or *side yard* specified for each *zone*.

YARD, SIDE

means that portion of the *lot*, extending from the *front yard* to the *rear yard* between the side line of the *lot* and a line drawn parallel thereto. The width of such yard shall mean the perpendicular distance between the side line of the said *lot* and the parallel line.

ZONE

means an area or district delineated on the Schedule A Zoning Map and established and designated by this Bylaw for a specific *use(s)*.

2.2 Use of Italics

Words that are italicized in this section or hereafter in this Bylaw, other than federal and provincial Acts and Regulations, are defined in Section 2.1 – Definitions.

PART 3 GENERAL REGULATIONS

3.1 Permitted Uses

No lands, *buildings*, or *structures* in any *zone* shall be used by the owner, occupier, or any other *person* for any *use*, except one which is provided in this Bylaw as being specifically permitted for the *zone* in which it is located.

3.2 Uses Permitted in All Zones

3.2.1 The following *uses* are permitted in all *zones*:

- 1) parks and playgrounds;
- 2) *minor utility*;
- 3) *community gardens*;
- 4) agriculture;
- 5) natural areas.

3.2.2 *Minor utilities* are permitted in all *zones* and are exempted from the minimum parcel size and width requirements of this Bylaw.

3.2.3 The following *waterfront* access facilities are permitted in all *zones* and are exempted from the minimum parcel size and width requirements of this Bylaw:

- 1) wharves, piers, floats and boat-launching facilities constructed, leased, kept or maintained for the general public;
- 2) floats and wharves including necessary shelter for moored boats;
- 3) walkways parallel to the *foreshore*;
- 4) walkways perpendicular to the *foreshore* only where necessary to gain access from a float or wharf to otherwise inaccessible property abutting the *foreshore*.

3.2.4 *Uses* permitted in subsection 3.2.3 above shall be subject to the following regulations:

- 1) No private float or wharf shall extend any further from the shore than is necessary for boat access and moorage.
- 2) No section of a float or wharf shall be more than 5.0 metres wide.
- 3) Where an unlighted float or wharf is likely to constitute a navigational nuisance, the Building Inspector may require that it carry adequate lighting.

3.3 Minor Lot Line Adjustments

3.3.1 Minimum *lot area* and *lot width* requirements of this Bylaw do not apply to a subdivision that:

- 1) combines two or more *lots* into a single *lot*, or
- 2) does not increase the number of *lots* and adjusts the boundary between adjoining *lots*, provided that the boundary change does not result in a reduction of either *lot* by 20% or more of the original *lot* area.

Informational note: Please refer also to the requirements of Bylaws No. 1121 and P1276.

3.4 Location and Siting of Buildings

3.4.1 No *building* or *structure* shall be constructed, reconstructed, altered, moved, or extended by the owner, occupier, or any other *person* so that it contravenes the requirements, as provided in this Bylaw, for the *zone* in which it is located.

3.4.2 No *building* shall be constructed

- 1) within a *development* permit area as designated by Bylaw unless a *development* permit is first obtained from the Regional District of Alberni-Clayoquot; or
- 2) on ground surface less than 0.6 metres above the 200-year-flood level where this level can be determined, or 3.0 metres above the *natural boundary* of a lake or any other natural watercourse in the immediate flood hazard area; or
- 3) within 15 metres of a *minor stream* and 30 metres of a *major stream*; or
- 4) unless otherwise specified in this Bylaw, within 15 metres of the natural boundary of the ocean; or
- 5) within 7.5 metres of the ocean in the Bamfield area; or
- 6) These restrictions do not apply to industrial or commercial *buildings* where the *use* of the *waterfront* is a necessary subsidiary part of the business activity; nor do they apply to simple *structures* used for the storage of boats and their ancillary equipment.

3.5 Height of Buildings and Structures

The following types of *structures* or structural parts are not subject to the *building height* requirements of this Bylaw:

- 1) spires of churches or other places of worship
- 2) belfries
- 3) domes
- 4) chimneys
- 5) monuments
- 6) silos
- 7) flag poles
- 8) masts
- 9) aerials

- 10) monitors
- 11) stadiums
- 12) water tanks
- 13) fire and hose towers
- 14) observation towers
- 15) transmission towers
- 16) radio towers
- 17) cooling towers
- 18) *drive-in* theatre projection screens
- 19) elevator and ventilating machinery penthouses
- 20) cell towers

provided that the *structure* shall not cover more than 20 percent of the *lot* or, if located on a *building*, not more than 10 percent of the *roof area* of the *building*.

3.6 Projections

3.6.1 The following features may project into a *required front, side or rear yard*:

- 1) steps and wheelchair ramps;
- 2) eaves, gutters, cornices, sills, bay windows, chimneys, ornamental features or other similar features, provided that the projection does not exceed 1.0 metres or 0.6 metres in the case of a *side yard* of less than 1.5 metres in width;
- 3) *marquees*, canopies open porches and *decks*, provided that the projection does not exceed 1.8 metres or 50 percent of the width of *required side yard*;
- 4) balconies, awnings and sun shades, provided that the projection does not exceed 1.2 metres and is not supported by columns;
- 5) an uncovered patio or terrace (either open or enclosed) in any yard in a residential *zone*, subject to the fence height limitations as specified in Section 3.8 of this Bylaw. An awning or sun umbrella is permitted on a patio or terrace.
- 6) arbors and trellises, fish ponds, ornaments, flag poles or similar landscape features;
- 7) an uncovered swimming pool, provided that the pool is not located in the *front yard*, is not nearer than 3.0 metres to any property line, and is fenced and fitted with a safety gate;
- 8) a covered or roofed swimming pool, subject to the provisions of clause 7) above and to the regulations governing *accessory buildings* contained in Section 3.11 of this Bylaw;
- 9) gasoline service pumps or pump islands in a *required front or side yard*, provided that the pump or pump island is located no closer than 4.5 metres to any property line. Canopies erected above a pump or pump island may project more than 1.8 metres into a *required front yard*, provided the canopy is located no closer than 4.3 metres to any property line.

- 3.6.2 Projections into the riparian area of a *stream* may require a *development* permit. The *development* permit requirements of the relevant Official Community Plan should be referred to.

Informational note: Please refer to additional *setback from water* requirements in the respective *zones*.

3.7 Vision Clearance at Intersections

- 3.7.1 No fence, wall or *structure*, other than a permitted principal *building*, shall be more than 1.0 metre high and no hedge, bush, shrub, tree or other plant shall be allowed to grow so that it obstructs vision clearance in the area bounded by
- 1) the intersecting *lot* lines at a *street* corner and a line adjoining points along the *lot* lines 10.0 metres from their point of intersection, or
 - 2) the intersection *lot* lines at a lane corner and a line joining points along the *lot* lines 6.0 metres from their point of intersection. A lane intersection includes the intersection of a lane with any other lane or with a *street*.

3.8 Fences

- 3.8.1 Except in rural and resource *zones*, the following height limitations apply to fences, walls and other *structures* other than a *building*, provided any required *screening* is maintained:
- 1) If located in a *required front yard*, fences shall not exceed a height of 1.4 metres.
 - 2) If located in a *required side or rear yard*, fences shall not exceed a height of 2.0 metres except as specified in the respective *zones*.
 - 3) If located in a community service or industrial *zone*, open-mesh or chain-link type fences shall not exceed a height of 3.7 metres.
- 3.8.2 The height of a fence, wall or hedge shall be measured from the ground level at the *average natural grade* level within 1.0 metre of both sides of the fence, wall or hedge.
- 3.8.3 Any portion of a retaining wall that projects above the surface of the ground which it supports shall be considered as a fence and shall be subject to the regulations of this section.
- 3.8.4 Where a retaining wall has been constructed along a property line, the height of a fence, wall or hedge shall be measured from the surface of the ground which the retaining wall supports at the *average natural grade* level with 1.0 metre of the retaining wall.

Informational note: Please refer to additional fencing requirements in the respective *zones*.

3.9 Utilities Required

- 3.9.1 The Building Inspector may prohibit the erection of a *building* from commencing until firm arrangements have been made to supply the *building* with electric power, water, sewerage, access and other facilities.
- 3.9.2 No *building* shall be constructed, erected or occupied on any *lot* that is not serviced by a municipal, *communal* or *community sewer system* until a permit is issued under the provisions of the provincial Regulations governing sewage disposal.

3.10 Conversion of Buildings

Buildings may be converted, altered or remodelled for another *use* provided that:

- 1) the Building Inspector certifies that the *building* is structurally suitable for the proposed conversion; and
- 2) the converted *building* shall conform to all the provisions and regulations specified for the *zone* in which it is located.

3.11 Accessory Buildings and Uses

3.11.1 *Accessory buildings* shall not be erected unless

- 1) a principal *building* has been erected; or
- 2) a principal *building* will be erected simultaneously; or
- 3) a *principal use* is in effect.

3.11.2 An *accessory building* shall not be used as a *dwelling*, except as otherwise permitted as an *accessory dwelling unit* by the provisions of this Bylaw.

3.11.3 *Setbacks* between *accessory buildings* or *structures* and principal *buildings* must satisfy the BC Building Code separation requirements.

3.11.4 Except as otherwise provided in this Bylaw, *accessory buildings* may be located in *required rear* and *side yards* provided that no portion of the *building* is located within 1.0 metre of a rear or *side lot line*.

3.11.5 A *building* or *structure* that is attached to a principal *building* by at least 66% of the length of any of its sides and has no direct access to the outside is not considered to be an *accessory building*, but is rather an extension or addition to the principal *building*. Unless otherwise specified in this Bylaw, the required *setback* from the *side lot lines* shall not be less than 1.0 metre.

- 3.11.6 Except as otherwise provided in this Bylaw, an *accessory building* shall not exceed 3.6 metres in *height*.
- 3.11.7 In *zones* where *graduated height* is permitted, the height of an *accessory building* or *structure* may be increased by 0.3 metres vertical distance for every 0.6 metre increase in excess of the minimum *side* and *rear yard setbacks* established by this Bylaw to a maximum of two *storeys*.
- 3.11.8 On a *corner lot* an *accessory building* shall not be located closer to the *flanking street* than the principal *building* on the same *lot* nor closer than the required *setback* from the *flanking street* of the principal *building* on an adjoining *lot* or, where the *lots* are separated by a lane, the *lot* on the opposite side of the lane.
- 3.11.9 A *structure* for sheltering a boat may be located between the principal *building* and a waterway giving boat access, regardless of its location in a *required front, rear or side yard*.
- 3.11.10 An *accessory building* shall not exceed 3.6 metres in height if it is located within a *required rear yard*.
- 3.11.11 The total combined gross area of all *accessory buildings* and *structures* is limited to the greater of 5% of the area of the *lot* or 400 square metres in Residential 1 and Residential 2 *zones* and to 5% of the area of the *lot* in all other *zones*, unless otherwise specified in this Bylaw.

Informational note: Please refer to additional *accessory building* and *use* requirements in the respective *zones*.

3.12 Accessory Dwelling Units

- 3.12.1 An *accessory dwelling unit* may be permitted in addition to a *single-family dwelling* or *two-family dwelling* where all the following conditions are met:
- 1) the *lot* is within an Official Community Plan area;
 - 2) the *lot* is in a Rural or a Residential *single-family dwelling* or a Residential *two-family dwelling zone*;
 - 3) the *lot* contains a principal *dwelling unit* or the *accessory dwelling unit* will be constructed simultaneously with a proposed principal *dwelling unit*;
 - 4) the *lot* is not less than 0.4 hectare in size or, in the Electoral Area ‘C’ Long Beach OCP area, 1.0 hectare;
 - 5) the *accessory dwelling unit* meets all Building Code requirements; and
 - 6) the *lot* meets health requirements for sewage disposal and potable water.

- 3.12.2 An *accessory dwelling unit* shall have a *floor area* of not more than 80 square metres in size, or if located within or attached to the principal *dwelling unit*, not more than 40% of the habitable *floor area* of the *building*, whichever is less, in all Electoral Areas except Electoral Area 'C'. In Electoral Area 'C' an *accessory dwelling unit* shall have a *floor area* of not more than 70 square metres or, if located within or attached to the principal *dwelling unit*, not more than 40% of the habitable *floor area* of the *building*, whichever is less.
- 3.12.3 No more than one *accessory dwelling unit* is permitted on any *lot*.
- 3.12.4 An *accessory dwelling unit* may only be one *storey* and not more than 3.7 metres in height unless otherwise provided for in this Bylaw.
- 3.12.5 An *accessory dwelling unit* shall not be located, unless otherwise provided for in this Bylaw:
- 1) within a *required front yard*, or
 - 2) within 3 metres of a *side or rear lot line*.
- 3.12.6 An *accessory dwelling unit*, if located within the principal *dwelling unit* or within a non-residential *accessory building*, shall have an entrance that is separate from that of the main *building*.
- 3.12.7 An *accessory dwelling unit* shall include facilities for storing, preparing and cooking food, sanitary facilities and a bedroom.
- 3.12.8 No *person* shall occupy an *accessory dwelling unit* unless an occupancy permit has been issued for it.
- 3.12.9 One off-street *parking space* shall be provided for the exclusive use of the occupant(s) of the *accessory dwelling unit*.
- 3.12.10 The registered owner of the property must occupy either the principal *dwelling unit* or the *accessory dwelling unit* as his or her principal residence.
- 3.12.11 An *accessory dwelling unit* may not be a separate strata unit.
- 3.12.12 On *lots* greater than 0.8 hectares in size, one *accessory dwelling unit* **OR** one *manufactured home* of at least 60 square metres may be permitted in addition to a *single-family dwelling* provided that:
- 1) there is only one principal *building* located on the property and it is occupied as a *single-family dwelling*;
 - 2) the *setbacks* for the *accessory dwelling unit* or *manufactured home* are the same as the requirements for the principal *dwelling*; and

- 3) the *accessory dwelling unit* or *manufactured home* shall be occupied by no more than 2 people.

3.12.13 A *dwelling unit* or a *housekeeping unit* is permitted in a *basement* but not in a *cellar*.

3.12.14 A *caretaker's residence* or *dwelling unit* that is accessory to a non-residential *principal use* may be permitted as specified in the respective *zones* in this Bylaw or where, in the opinion of the Building Inspector, the RCMP Officer-in-Charge or the Fire Chief, the premises cannot be effectively secured or where the public safety might be endangered by lack of supervision. Authorized accommodation shall conform to the requirements of this Bylaw in all respects and to the requirements of the Building Bylaw.

Informational note: For clarity, *accessory dwelling units* are for use as a primary residence, not for use as a vacation rental. Please refer to additional *accessory dwelling unit* requirements in the respective *zones*.

3.13 Temporary Buildings

3.13.1 A *temporary building, structure* or *manufactured home* shall not be used as a *dwelling* for longer than 24 hours, with the following exceptions:

- 1) A *recreational vehicle* may be used as a *dwelling* on a transitory basis only, when located in an authorized *campground*.
- 2) *Manufactured homes* may be used as *dwellings* for temporary holiday accommodation in an authorized *manufactured- or mobile-home* park or on a *lot* in the *Recreational Residential zones*.
- 3) Independent *manufactured homes* located in an authorized *manufactured- or mobile-home* park may be used for continuous residence.
- 4) Where a *principal dwelling* is under construction on a *lot* that is at least 0.4 hectares in size, one *temporary building* or *manufactured home* may be occupied as a *dwelling* for a period not to exceed the construction period, provided that the Building Inspector certifies that the *temporary building* or *manufactured home* is and continues to be habitable. Such *temporary building* or *manufactured home* shall be removed upon completion of construction of the *principal dwelling* or upon the expiry and non-renewal of the building permit for the *principal dwelling*.
- 5) A *temporary building* or *structure* may be erected for construction purposes on a *lot* being developed for a period not to exceed the construction period.

3.13.2 In all cases other than those listed in subsection 3.13.1, *temporary buildings* or *structures* shall be subject to the following requirements:

- 1) Application shall be made in writing to the Building Inspector for a permit to erect a *temporary building* or *structure*.

- 2) If the Building Inspector is satisfied that the proposed *temporary building* or *structure* would not constitute or cause a hazard or nuisance and would not obstruct any right-of-way, a permit shall be granted for a period of not more than 6 months.
- 3) Upon expiry of the permit, the *temporary building* or *structure* shall be removed and the site restored as nearly as possible to its former condition.

3.14 Home Occupation

- 3.14.1 A *home occupation* or business shall be conducted entirely within a principal *dwelling* or *accessory building*, with the exception of a daycare, which may have an outdoor play area.
- 3.14.2 If located within the principal *dwelling*, the *home occupation use* shall occupy no more than the lesser of 30% of the *floor area* of the *dwelling* or 40 square metres.
- 3.14.3 No more than three *persons*, at least one of whom must reside in the *dwelling*, may be engaged in the *home occupation*.
- 3.14.4 There shall be no external production or storage of materials, containers or finished goods, except for the temporary storage of harvested crops.
- 3.14.5 There shall be no indication, other than a single non-illuminated sign of a maximum 1.0 square metre, that the *building* is being utilized for any purposes other than those permitted in the *zone* in which the *use* is located.
- 3.14.6 A *home occupation* shall not involve the use of mechanical equipment other than equipment similar to that ordinarily employed for domestic and household use for recreational hobbies. In particular, the premises must not be used for *manufacturing* or any other *light industry*. The *home occupation* must not produce noise, vibration, smoke, dust, odour, litter or heat other than that normally associated with a *dwelling* and must not create or cause any fire hazard, electrical interference or traffic congestion in the *street*.
- 3.14.7 Parking for all vehicles in connection with a *home occupation* shall be located on the *lot* used for the *home occupation*.
- 3.14.8 No part of the premises shall be used primarily as a warehouse or *retail* outlet.
- 3.14.9 The operation of a *kindergarten*, daycare or pre-school as a *home occupation* shall be for a maximum of eight children at any one time.
- 3.14.10 The operation of a *boarding*, *lodging* or foster home as a *home occupation* shall be for a maximum of four boarders or lodgers.

3.14.11 The operation of a dance *school* as a *home occupation* shall be limited to a maximum of eight students at any one time.

3.15 Home Industry

Lots zoned for *home industry* are intended to provide space for the incubation of small, new *industrial uses* which may, if successful in growing, need to relocate to an *industrial zone*. *Home industry uses* require larger *lots* and more buffering than are required for *home occupation uses* as some of the industrial activities may be conducted outdoors.

3.15.1 A *home industry* may be conducted in an *accessory building* or *structure* or outside.

3.15.2 The minimum *lot* size for *home industry use* is 2 hectares.

3.15.3 The maximum *gross floor area* of *home industry use* on a parcel is 200 square metres.

3.15.4 No more than four *persons*, at least two of whom must reside in the *dwelling*, may be engaged in the *home industry*.

3.15.5 A suitable fully *landscaped* 10-metre *screened* and buffered area shall be provided between *home industry uses* and adjacent properties.

3.15.6 The minimum *setback* from the property line for *home industry use* is 15 metres provided the *use* is contained within an *accessory building* or *structure*.

3.15.7 The minimum *setback* from the property line for *home industry use* is 30 metres if the *use* is not contained within a *building* or *structure*.

Informational note: Please refer to additional *home industry* requirements in the respective *zones*.

3.16 Upland Aquaculture

3.16.1 The minimum *setback* for all *buildings*, facilities and ponds from all *lot* lines is 15.0 metres.

3.16.2 *Aquaculture* shall be conducted within an enclosed *building* except for necessary nursery facilities and grow-out ponds.

3.16.3 The perimeter of all *upland aquaculture* facilities must be fenced by a chain-link type fence of not less than 1.5 metres in height. All gates must be self-closing with locking mechanisms located on the inside of the gate to prevent public access.

3.16.4 The perimeter fence shall be located within a *setback* that is 3.0 to 6.0 metres from the pond's edge.

- 3.16.5 Best practices, including buffering, shall be used to prevent any annoyance or nuisance, such as unsightliness, the emission of odours and noise including generator or pump noise and the *use* of floodlighting, to residents or visitors to the surrounding area.
- 3.16.6 All operations must be in compliance with all federal and provincial regulations and licensing requirements.

Informational note: Please refer to additional *upland aquaculture* requirements in the respective *zones*.

3.17 Keeping Animals

- 3.17.1 In all *zones* where *agriculture use* or *animal care* is not a permitted use, keeping animals shall be deemed to be an *accessory use* and shall be limited to:
- 1) on *lots* with a *lot area* of less than 0.24 hectare, the keeping of animals is restricted to *pets*;
 - 2) on *lots* with a *lot area* of 0.24 hectare or greater, the keeping of animals is restricted to *pets* and *household animals*;
 - 3) on *lots* with a *lot area* of 1.0 hectare or greater, the keeping of *pets*, *household animals* and *livestock* is permitted;
 - 4) on *lots* in Rural and Resource *zones* with a *lot area* of at least 2.0 hectares, any number of *livestock* may be kept for commercial or domestic purposes, including *pets*, *household animals*, and *kennels*, provided that provisions are made to reduce excessive noise.
- 3.17.2 An area of at least 0.2 hectare shall be maintained for the *use* of each *household animal* or *livestock*.
- 3.17.3 A *building* or *structure* used for the keeping of *household animals* or *livestock* must be located at least 15.0 metres from all lot lines, watercourses and dwellings.
- 3.17.4 A *building* or structures used for the keeping of *livestock* must be located at least 24.0 metres from any *lot* line adjoining a Residential *zone*.
- 3.17.5 The design and siting of *buildings*, *structures*, cages, pens or runs shall be in accordance with federal and provincial guidelines and regulations.
- 3.17.6 A beehive shall be located at least 7.5 metres from all *lot lines*.
- 3.17.7 All *persons* wishing to keep bees must be registered with the BC Ministry of Agriculture and must abide by the beekeeping regulations as specified in the provincial and federal regulations.
- 3.17.8 Animal waste shall be managed in accordance with current good practices, as required by federal and provincial regulations.
- 3.17.9 These regulations do not apply to properties with farm status classification under the BC *Assessment Act* or lands located within the ALR. **[Can we delete this?]**

Informational note: Please refer to additional keeping animals requirements in the respective

zones.

3.18 Off-street Parking

3.18.1 Where any *development* takes place on any *lot*, *off-street parking spaces* shall be provided and maintained for the permitted *uses* in accordance with the regulations of this section. The number of *parking spaces* required shall be as shown below:

Land Use Category	Minimum Number of Parking Spaces
<i>Abattoir</i>	2.0 spaces
<i>Accessory dwelling unit</i>	1.0 space per ADU
<i>Airport use</i>	1.0 space per 10.0 m ² of waiting room
<i>Animal care</i>	1.0 space per 20.0 m ² of <i>floor area</i>
<i>Apartment building</i>	1.5 spaces per <i>dwelling</i>
<i>Assembly</i> including art galleries, museums, libraries, arenas, <i>assembly</i> or meeting halls, auditoriums, armouries, <i>clubs</i> , <i>lodges</i> and fraternal <i>buildings</i> , community centres, dance halls, exhibition halls, funeral parlours and undertaking establishments, gymnasiums, stadiums, theatres and similar <i>uses</i>	1.0 space per 10 seats or 1.0 per 9,290 m ² of <i>floor area</i> in areas without fixed seats that are used or intended to be used for <i>assembly</i> , excluding playing surfaces
<i>Auction room</i>	1.0 space per 28 sq. metres of <i>gross floor area</i>
<i>Bed and breakfast</i>	1.1 spaces per <i>sleeping unit</i> plus 1.5 for owner or operator's <i>use</i>
Billiard parlour	1.0 space per table
<i>Boarding or lodging</i>	1.0 space per 2 <i>sleeping units</i>
Bowling alley	2.0 spaces per alley
<i>Campground</i>	2.0 spaces per <i>camping site</i> plus 1.0 space per employee
<i>Camping site</i>	2.0 spaces
<i>Community care facility</i>	1.0 space per 3 beds?
<i>Caretaker's residence</i>	2.0 spaces
Children's institution or <i>dormitory unit</i>	1.0 space per 3 employees plus 1.0 per 6 beds
<i>Club or lodge</i>	1.0 space per 10 seats or 1.0 per 9,200 m ² of <i>floor area</i> in areas without fixed seats
Commercial nursery or greenhouse	1.0 space per 15.0 m ² of sales <i>building</i> ?
<i>Communication service</i>	1.0 space per 28.0 m ² of <i>gross? floor area</i>
Community service such as police, fire station or community hall	1.0 space per 40 m ² of <i>gross floor area</i> ?
<i>Convenience store</i>	1.0 space per 15.0 m ² of <i>gross floor area</i> ?
<i>Cottage</i> intended for tourist or temporary accommodation	3.0 spaces per unit
<i>Duplex or two-family dwelling</i>	1.5 spaces per <i>dwelling</i>
<i>Dwelling</i> in a commercial or mixed-use <i>building</i>	1.5 spaces per <i>dwelling</i>

<i>Dwelling, multiple-family</i>	1.5 spaces per <i>dwelling</i>
<i>Dwelling, seasonal</i> if not accessed from a constructed road	No off-street parking required
<i>Dwelling, single-family</i>	2.0 spaces per <i>dwelling</i>
<i>Fitness centre</i>	1.0 space per 10.0 m ² of fitness or gymnasium <i>floor area</i> ?
<i>Float home</i>	1.0 space
<i>Guesthouse</i>	1.1 spaces per <i>sleeping unit</i> plus 1.5 for owner or operator's use
Gasoline service station	1.0 for each 2 employees plus 1.0 per service bay
Health, welfare and <i>medical services</i>	1.0 space per 46.5 m ² of <i>floor area</i>
<i>Heavy industry</i>	
<i>Home industry</i>	1.0 space per non-resident employee
<i>Home occupation</i>	1.0 space per non-resident employee
<i>Hotel</i>	1.1 spaces per <i>dwelling</i> or <i>sleeping unit</i> plus any required for dining or drinking facilities
Hospital or sanatorium	1.0 space per 2 staff doctors plus 1.0 per 4 employees plus 1.0 per 5 beds
<i>Houseboat</i>	1.0 space
<i>Housekeeping unit</i>	1.0 space per <i>sleeping unit</i> plus 2.0 for owner or operator's use?
<i>Junk yard</i>	1.0 space per employee?
<i>Kennel</i>	
<i>Manufactured or mobile home</i>	1.5 spaces per home
<i>Manufacturing</i> or production facilities, including industrial <i>buildings</i> and <i>uses</i> , <i>display yards</i> , research laboratories, servicing and repair establishments and similar <i>uses</i>	1.0 space per 3 employees or 1.0 per 92,903 m ² of <i>gross floor area</i> , whichever is greater, plus 1 per 92,903 m ² of <i>floor area</i> and/or <i>lot area</i> used for display, rental or <i>retail</i> sales
<i>Marina use</i>	1.0 space per employee plus 1.0 per 3 berths
<i>Medical marijuana facility</i>	??
<i>Medical services</i> , dental <i>office</i> , clinic	1.0 space per 46.5 m ² of <i>gross floor area</i>
<i>Motel</i> or <i>motor hotel</i>	1.1 space per <i>sleeping unit</i> in addition to any spaces required for restaurant and other <i>hotel</i> service <i>uses</i>
<i>Motor vehicle repair shop</i>	1.0 space per 3 employees or 1.0 per 92,903 m ² of <i>gross floor area</i> , whichever is greater
<i>Office</i>	1.0 space per 46.5 m ² of <i>gross floor area</i>
<i>Office</i> in industrial facility	1.0 space per 27.8 m ² of <i>gross floor area</i>
<i>Office</i> in recreation facility	2.0 spaces
Park (active sports, playing fields)	25.0 spaces per playing field
Park (passive)	5.0 spaces per hectare
<i>Personal service</i>	1.0 space per 28.0 m ² of <i>gross floor area</i>
<i>Petting farm</i>	1.0 space per 400 m ² of area occupied by the <i>petting farm</i> and permitted <i>accessory uses</i> plus 1.0 space for every 2 non-resident employee

	plus 2.0 spaces for the owner or operator's <i>dwelling</i>
<i>Place of worship</i>	1.0 space per 10 seats plus 1.0 per 18.58 m ² of <i>gross floor area</i> used for <i>assembly</i> within a <i>place of worship</i> or hall
Recreational <i>use</i> including golf course, miniature golf course, health centres, reducing salons, steam baths, roller rinks, swimming pools and similar <i>uses</i>	1.0 space per 46.5 m ² of <i>gross floor area</i> plus 1.0 per 10 spectator seats
Recreational <i>use</i> including swimming pools and similar <i>uses</i>	10.0 spaces plus 1.0 per 10 spectator seats
Restaurants, diners, cafés, other eating establishments, beer parlours, bars, pubs, lounges, night-clubs and other similar establishments, and entertainment services except in W4 zone (?)	1.0 space for each 3 seats So what is the parking requirement in W4 zones?
<i>Retail use</i>	1.0 space per 28 sq. metres of <i>gross? floor area</i>
<i>Riding academy</i>	
<i>Row housing</i>	1.5 spaces per <i>dwelling</i>
<i>School</i> such as a <i>kindergarten</i> , elementary and junior high <i>school</i>	1.0 space per staff member
<i>School</i> such as a senior high <i>school</i> or college	1.0 space per staff member plus 1.0 per 10 students
<i>Seasonal residence</i>	1.5 spaces per residence
Warehouse, <i>storage building</i> , <i>mini-storage</i> , <i>storage yard</i> , wholesale establishments and other similar <i>uses</i>	1.0 space per 3 employees or 1.0 per 185,806 m ² of <i>gross floor area</i> , whichever is greater
<i>Winery or cidery</i>	1.0 space per 28 sq. metres of <i>gross floor area</i> of <i>retail space</i>

- 3.18.2 A change in *use* or modification of a *building*, *structure* or *lot* shall result in a recalculation of parking requirements in accordance with this section, which may result in requirements for additional *parking spaces* to be provided.
- 3.18.3 All off-*street* parking facilities or loading areas in excess of the requirements of this Bylaw shall conform to the regulations set forth in this Bylaw.
- 3.18.4 Where the number of employees is used as a unit of measurement for the calculation of required *parking spaces*, it shall mean greatest number of *persons* at work, at any time of the day or night, in a particular *building* or for a particular *use* during any season of the year.
- 3.18.5 Where seating accommodation is used as a unit of measurement and where such accommodation consists of benches, pews, booths and similar seating, each 50 centimetres of width of such seating shall be counted as one seat.

- 3.18.6 When the calculation of parking requirements results in a fractional *parking space*, one *parking space* shall be provided to meet this fractional requirement.
- 3.18.7 Where a *use* is not specifically mentioned or defined, the required off-street *parking spaces* for that *use* shall be the same as for a similar *use*.
- 3.18.8 All required off-street *parking spaces* shall be used only for the purpose of accommodating the vehicles of clients, customers, employees, members, visitors, residents or tenants who make *use* of the principal *building* or *use* for which the *parking area* is provided, and such *parking area* shall not be used for off-street loading, driveways, *street* access, *access aisles*, commercial repair work or display, sale or storage of goods of any kind.
- 3.18.9 Where more than one *use* is located on a *lot* or involves collective parking for more than one *building, structure* or *use*, the total number of *parking spaces* shall be the sum of the various classes of *uses* calculated separately, and a space required for one *use* shall not be included in calculations for any other *use*.
- 3.18.10 No *commercial vehicle*, truck, bus, contractor's equipment, dismantled or wrecked or unlicensed automobile, boat, *trailer* or any similar vehicle, conveyance, craft or equipment shall be parked or stored in the open in any Residential *zone*, except the following, which may only be parked or stored in a location other than the *required front yard*:
- 1) Not more than two of the following:
 - i. Trucks or *commercial vehicles* not exceeding .89 of a tonne rate capacity, or
 - ii. Personnel carriers not exceeding a carrying capacity of 18 passengers
 - 2) Trucks, *commercial vehicles* or equipment required for construction, repair servicing or maintenance of the premises
 - 3) Any dismantled, wrecked or unlicensed vehicle for a period of not more than 30 successive days
 - 4) One boat or vessel which may be stored in a *required front yard* adjoining a waterway giving boat access
 - 5) One *trailer* or *travel trailer*
 - 6) One *recreational vehicle*, where the location of an existing residence precludes vehicular access to the *rear yard* or where open storage in the *rear yard* is precluded because of the presence of sewage disposal facilities
- 3.18.11 Parking shall not be located within a *required front yard* unless permitted by the specific *zone* regulations.
- 3.18.12 Parking in a *required side yard* is permitted provided that no part of the *parking area* is less than one metre from the *side lot line*.

3.18.13 All parking requirements for a residential *building* shall be provided on the same *lot* as the *building*.

3.18.14 The location of all points of ingress and egress to a *parking lot or area* shall be subject to the approval of the Building Inspector.

3.18.15 All off-street *parking spaces* shall comply with the minimum dimensions set forth below:

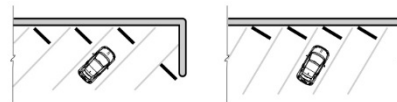
<u>Parking Space Size</u>	<u>Length</u>	<u>Width</u>	<u>Height</u>
Regular	5.5 m	2.6 m	2.15 m
Small Car	5.0 m	2.4 m	2.15 m
Handicapped	5.8 m	3.7 m	2.15 m
Parallel	6.7 m	2.6 m	2.15 m

3.20.16 Where a *parking space* abuts a fence, wall or other *structure* that is more than 0.3 metre in height, the width of the *parking space* shall be increased by 0.3 metre along any side that abuts such fence, wall, *building* or other *structure* to enable the opening of vehicular doors.

3.18.17 All off-street *parking spaces* shall have clear access to *access aisles*.

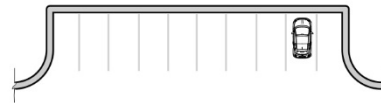
3.18.18 Minimum *access aisle* widths shall be:

<u>Parking Angles</u>	<u>Width of Aisle</u>
Up to 45°	3.7 metres
46° to 60°	5.2 metres
61° to 90°	6.7 metres



45° Parking

60° Parking



90° Parking

3.18.19 *Access aisles* that are intended for two-way traffic flow shall be not less than 6 metres in width.

- 3.19.20 All *parking lots* shall be provided with adequate vehicle stops and curbs in order to retain all vehicles within the *parking area*, and to ensure that any fences, walls, hedges, *landscaped areas* or *buildings* will be protected from any vehicles using the *parking lot*.
- 3.18.21 The *parking lot* of any *development* that is required to provide more than ten (10) off-*street parking spaces* shall be paved or covered with some other hard, durable and dust-free surface and shall be graded to provide proper drainage for surface water.
- 3.18.22 Any lighting *used* to illuminate any *parking lot* shall be arranged so that all direct rays of light are reflected upon the *parking area* and not on any adjoining property.
- 3.18.23 The provisions of subsections 3.18.17 and 3.18.19 may be waived if the *lot* is part of a substantial area that is not accessible to vehicles, provided that an off-*street parking area* is provided in accordance with this Bylaw for the *development* that will be completed within six months of the provision of vehicular access.

Informational note: Please refer to additional off-*street* parking and *parking space* requirements in the respective *zones*.

3.19 Off-street Loading

- 3.19.1 Where any *development* takes place on any *lot*, off-*street* loading areas shall be provided and maintained for the permitted uses in accordance with the regulations of this section. The number of *loading spaces* required shall be as shown below:

Land Use Category	Minimum Number of <i>Loading Spaces</i>
<i>Retail store, business, industry, warehouse and other similar uses</i> of less than 465 m ²	1.0 space
<i>Retail store, business, industry, warehouse and other similar uses</i> of 465 to 2,323 m ²	2.0 spaces
<i>Retail store, business, industry, warehouse and other similar uses</i> of 2,324 to 5,574 m ²	3.0 spaces
<i>Retail store, business, industry, warehouse and other similar uses</i> of more than 5,574 m ²	3.0 spaces plus 1.0 additional space per 5,574 m ² or fraction thereof
<i>Office, office building, place of assembly, place of worship, hospital, institution, hotel, club or lodge, auditorium, utility, school</i> or other similar <i>uses</i> of less than 2,787 m ²	1.0 space
<i>Office, office building, place of assembly, place of worship, hospital, institution, hotel, club or lodge, auditorium, utility, school</i> or other similar <i>uses</i> of 2,787 to 5,575 m ²	2.0 spaces
<i>Office, office building, place of assembly, place of worship, hospital, institution, hotel, club or lodge,</i>	2.0 spaces plus 1.0 additional space per 5,574 m ² or fraction thereof

auditorium, <i>utility, school</i> or other similar <i>uses</i> of more than 5,575 m ²	
<i>Light industry, heavy industry</i> and airport use	1.0 space per 2,000 m ² or portion thereof of all <i>buildings</i> located on the parcel, except where a <i>use</i> requires fewer than 4.0 <i>parking spaces</i> are required, then no <i>loading space</i> is required

- 3.19.2 A change in *use* or modification of a *building, structure* or *lot* shall result in a recalculation of loading requirements in accordance with this section, which may result in requirements for additional *parking spaces* to be provided.
- 3.19.3 Where more than one *use* is located on a *lot* or involves collective loading for more than one *building, structure* or *use*, the total number of *loading spaces* shall be the sum of the various classes of *uses* calculated separately, and a space required for one *use* shall not be included in calculations for any other *use*.
- 3.19.4 All required off-*street loading spaces* shall be located on the same *lot* as the *building* or *use* that they serve.
- 3.19.5 *Loading spaces* or facilities shall not be located within a *required front yard* or less than 7.6 metres from the nearest point of intersection of any two *street* allowances.
- 3.19.6 The location of all points of ingress and egress to a loading area shall be subject to the approval of the Building Inspector.
- 3.19.7 All off-*street* loading and unloading spaces shall be designed to accommodate a vehicle at least 9.0 metres in length, 2.5 metres in width and 3.7 metres in height or larger where appropriate.
- 3.19.8 All loading areas shall be provided with adequate vehicle stops and curbs in order to retain all vehicles within the loading area, and to ensure that any fences, walls, hedges, *landscaped areas* or *buildings* will be protected from any vehicles using the loading area.
- 3.19.9 The loading area shall be paved or covered with some other hard, durable and dust-free surface and shall be graded to provide proper drainage for surface water.
- 3.19.10 Any lighting *used* to illuminate any loading area shall be arranged so that all direct rays of light are reflected upon the loading area and not on any adjoining property.
- 3.19.11 The provisions of subsection 3.19.8 and 3.19.9 may be waived if the *lot* is part of a substantial area that is not accessible to vehicles, provided that an off-*street* loading area is provided in accordance with this Bylaw for the *development* that will be completed within six months of the provision of vehicular access.

3.19.12 The provisions of subsection 3.19.9 may be waived if the *lot* is part of a substantial area where public highways are not hard-surfaced, provided that the loading area is kept dust-free and is surfaced in accordance with subsection 3.19.9 within six months of the provision of hard-surfacing to the vicinity of the *lot*.

Informational note: Please refer to additional *off-street* loading requirements in the respective *zones*.

PART 4 ZONE USE AND REGULATIONS

4.1 Establishment of Zones

For the purposes of this Bylaw, the lands and waters within the unincorporated limits of Regional District of Alberni-Clayoquot are hereby classified and divided into the following zones:

RU	Rural and <i>agriculture uses</i>
RE	Resource <i>use</i>
R	Residential and <i>Manufactured Home Park use</i>
RR	Recreational <i>Residential use</i>
C	Commercial <i>use</i>
MU	Mixed <i>use</i>
I	Industrial <i>use</i>
CS	Community Service <i>use</i>
P	Parks and Recreation <i>uses</i>
AP	Airport <i>use</i>
W	Water <i>use</i>
CD	Comprehensive <i>Development</i>
CRCDD	Country Residential Comprehensive <i>Development</i>

4.2 Zoning Maps

The location and extent of each *zone* established by this Bylaw is shown on the “Zoning Maps” of the Regional District of Alberni-Clayoquot and which form part of this Bylaw.

4.3 Zone Boundaries

- 4.3.1 Where a *zone* boundary is shown on the zoning maps as following a *road* allowance or a *stream*, the centre-line of such *road* allowance or *stream* shall be the *zone* boundary.
- 4.3.2 Where a *zone* boundary is shown on the zoning maps as following the boundary of or encompassing waters designated by Statute as Navigable Waters, the lowest low water of the water body shall be the *zone* boundary.
- 4.3.3 Where a *zone* boundary does not follow a legally defined line, and where distances are not specifically indicated, the location of such boundary shall be determined by the *use* of a scale ruler on the Zoning Maps.

4.4 Zone Abbreviations

Where *zone* abbreviations are *used* within the text of this Bylaw, they shall be read in the same manner as the full textual name of the *zone* would be read.

4.5 Restricted Use

Subject to all other provisions of this Bylaw, land within each *zone* may only be used and *buildings* and *structures* erected and used for the purposes specified in the relevant *zone*.

4.6 Zone Group Numbering

Each category of *use* or type of *zone* has been allocated a group of ten numbers, so that Rural *zones* start with number 4.10, Resource *zones* with 4.20, Residential *zones* with 4.30, etc.

4.10 Rural 1 Zone (RU1) (existing A1)

This *zone* provides for smaller and niche-market farms, truck-gardening, orchard or nursery cultivation, greenhouses and other *agriculture uses* that do not require extensive tracts of land.

4.10.1 Permitted principal uses:

- 1) *Agriculture use*
- 2) *Residential use*

On lots with a minimum lot area of 2.4 hectares:

- 3) *Medical marijuana facilities*

On lots with a minimum lot area of 16 hectares and on lots in the ALR:

- 4) *Intensive agriculture use*

4.10.2 Permitted accessory uses:

- 1) *Accessory buildings and uses*
- 2) *Home occupation*
- 3) *Animal care*
- 4) *Sales of farm produce to consumers*

On lots with a minimum lot area of 0.4 hectares:

- 5) *Accessory dwelling unit*
- 6) *Temporary farm worker housing*

On lots with a minimum lot area of 0.8 hectare:

- 7) *Petting farm*
- 8) *Upland aquaculture*

On lots with a minimum lot area of 2 hectares:

- 9) *Home industry*

On land that is classified as a farm:

- 10) Temporary or seasonal *agri-tourism* activities

4.10.3 Conditions of use:

- 1) On lots 1.6 hectares or greater, two (2) *dwelling*s are permitted: either two *single-family dwelling*s or one *single-family dwelling* and one *accessory dwelling unit*.
- 2) The density shall not exceed two *dwelling*s per lot.

4.10.4 Lot development regulations:

Lot Regulations:	
Minimum <i>lot area</i>	0.8 ha
Minimum <i>lot area</i> with <i>communal</i> or <i>community water</i> and <i>sewer system</i> in Bamfield	0.1 ha
Minimum <i>lot width</i>	50 m
Maximum <i>lot coverage</i>	30%

Construction Regulations:	
All buildings:	
Minimum front <i>setback</i>	15 m
Minimum side <i>setback</i>	4.5 m
Minimum <i>setback</i> from <i>minor stream</i>	15 m
Minimum <i>setback</i> from <i>major stream</i>	30 m
Minimum <i>setback</i> from <i>the ocean</i>	7.5 m
Principal buildings:	

Maximum <i>building height</i>	10 m
Minimum rear <i>setback</i>	9 m
<i>Accessory buildings:</i>	
Maximum <i>building height</i>	6 m
<i>Graduated height</i>	0.3 m for each additional 1.2 m in side and rear <i>setbacks</i>
Minimum rear <i>setback</i>	4.5 m
Minimum <i>setback</i> from all <i>lot</i> lines for <i>home industry use</i> contained in an <i>accessory building or structure</i>	15 m
<i>Medical marijuana facilities:</i>	
Maximum <i>building height</i>	6 m
Minimum <i>setback</i> from all <i>lot</i> lines	30 m

Land Use Regulations:	
Minimum <i>setback</i> from all <i>lot</i> lines for <i>home industry use</i> not contained in an <i>accessory building or structure</i>	30 m
Minimum <i>setback</i> from <i>minor stream</i> for all <i>uses</i>	15 m
Minimum <i>setback</i> from <i>major stream</i> for all <i>uses</i>	30 m
Minimum <i>setback</i> from <i>the ocean</i> for all <i>uses</i>	7.5 m
<i>Intensive agriculture:</i>	
Minimum <i>setback</i> from a <i>dwelling</i> in a Residential <i>zone</i>	50 m
Minimum <i>setback</i> from a <i>stream</i> or water body	30 m
Minimum <i>setback</i> from a <i>road</i> and all <i>lot</i> lines	15 m

4.10.5 Exceptions in Particular Locations

On those lands in Rural 1 *zones* that are identified on the zoning maps by a letter in brackets, the following additional regulations apply:

Zone Variation – RU1(a) (existing RAB)

This *zone* variation is intended to provide for small-scale, custom slaughtering of animals on properties located in rural or agricultural areas.

- 1) Permitted *principal uses* are limited to the following:
 - i. One (1) *abattoir*
 - ii. *Agriculture use*
 - iii. *Residential use* is limited to one (1) *single-family dwelling* on a *lot* where the entire *lot* is zoned RU1(a). Where a property is split-zoned and a *dwelling* is permitted under the other *zone*, no *dwelling* shall be permitted with the RU1(a) portion of the lot.
- 2) Permitted *accessory uses* are limited to those that are *accessory* only to a permitted *single-family dwelling* and *agriculture use*.
- 3) The *lot development* regulations are varied as follows:

Lot Regulations:	
Minimum <i>lot area</i>	0.4 ha
Minimum <i>lot width</i>	45 m
Maximum <i>lot coverage</i>	25%

Construction Regulations:	
<i>Abattoir:</i>	
Maximum <i>floor area</i>	250 m ²
Maximum <i>building height</i>	3.8 m
Minimum front <i>setback</i>	1234 m
Minimum side <i>setback</i>	472 m
Minimum rear <i>setback</i>	930 m
<i>Accessory buildings:</i>	
Maximum <i>building height</i>	6 m

Zone Variation – RU1(b) (existing HS zone)

This *zone* variation is intended for home-site severance from the parent parcel within the ALR.

- 1) *Accessory uses* are limited to the following:
 - i. *Home occupation*
 - ii. *Accessory buildings and uses*

- 2) The following conditions of *use* apply:
 - i. On *lots* 0.8 hectare or greater, two (2) *dwellings* are permitted: either two *single-family dwellings* or one *single-family dwelling* and one *accessory dwelling unit*.
 - ii. *Single-family dwellings* shall be separated by a distance of not less than 9.0 metres.

3) The following *lot development* regulations apply:

Minimum <i>lot area</i>	0.4 hectare
Minimum <i>lot width</i>	27 metres
Maximum <i>lot coverage</i>	33%

Zone Variation – RU1(c) (Rance Island, Bamfield, LUC)

This *zone* variation applies to Lot 1, Barclay District, VIP3077, Section 20, Township 1, known as Rance Island, in Bamfield only. It is intended to reflect the terms of a land-use contract that permits the property owner to pursue a boat-building and boat-repair business.

- 1) The following additional *accessory uses* are permitted:
 - i. Boat-building and boat-repair within an enclosed *building* and outside within 15.24 metres of the *building*
 - ii. Storage of small watercraft
- 2) The following additional condition of *use* shall apply:
 - i. Any *foreshore development* or work ancillary to the business of boat-building and boat-repair shall be permitted only within the boundaries of a water lease approved and granted by the relevant provincial authority.

4.11 Rural 2 Zone (RU2) (existing A2)

This *zone* provides for the *development* of agricultural and residential activities on larger rural *lots* with the intent of maintaining rural character.

4.11.1 Permitted *principal uses*:

- 1) *Agriculture use*
- 2) *Residential use*
- 3) *Craft distilleries*, provided that a vineyard, orchard or crop of at least 0.8 hectares in area is under continuous cultivation on the *lot* [Can we delete this?]

- 4) Golf course

On lots with a minimum lot area of 2.4 hectares:

- 5) *Medical marijuana facilities*

On lots with a minimum lot area of 16 hectares and on lots in the ALR:

- 6) *Intensive agriculture use*

4.11.2 Permitted accessory uses:

- 1) *Accessory buildings and uses*
- 2) *Accessory dwelling unit*
- 3) *Home occupation*
- 4) *Home industry*
- 5) *Animal care*
- 6) *Livestock kept for commercial purposes, as well as kennels, provided that provision is made to reduce excessive noise*
- 7) *Sales of farm produce to consumers*
- 8) *Airfields, airports, enterprises engaged in air transport and services*
- 9) *Arboreta, botanical gardens, wildlife refuges and similar uses*
- 10) *Temporary farm worker housing*
- 11) *Not more than two dormitory units, provided that they are demonstrated to be essential to the operation of a farm*
- 12) *Parks and playgrounds for public use*
- 13) *Sales of wine, cider, beer or alcoholic beverage produced on the lot or lots comprising a farm and related products, provided that the retail area does not exceed the greater of 46.5 square metres or 5 percent of the floor area of the craft distillery, craft distillery tours, and outdoor seating or picnic areas.*
- 14) *Radio transmission towers*

On land that is classified as a farm:

- 15) *Temporary or seasonal agri-tourism activities*

4.11.3 Conditions of use:

- 1) *On lots 4 hectares or greater, two (2) dwellings are permitted: either two single-family dwellings or one single-family dwelling and one accessory dwelling unit.*

4.11.4 Lot development regulations:

Lot Regulations:	
Minimum lot area	2 ha
Minimum lot width	100 m

Maximum <i>lot coverage</i>	30%
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Construction Regulations:	
All buildings:	
Minimum front <i>setback</i>	15 m
Minimum side <i>setback</i>	4.5 m
Minimum <i>setback</i> from <i>minor stream</i>	15 m
Minimum <i>setback</i> from <i>major stream</i>	30 m
Minimum <i>setback</i> from <i>the ocean</i>	7.5 m
Principal buildings:	
Maximum <i>building height</i>	10 m
Minimum rear <i>setback</i>	9 m
Accessory buildings:	
Maximum <i>building height</i>	6 m
<i>Graduated height</i>	0.3 m for each additional 1.2 m in side and rear <i>setbacks</i>
Minimum rear <i>setback</i>	4.5 m
Minimum <i>setback</i> from all <i>lot</i> lines for <i>home industry use</i> contained in an <i>accessory building</i> or <i>structure</i>	15 m
Medical marijuana facilities:	
Maximum <i>building height</i>	6 m
Minimum <i>setback</i> from all <i>lot</i> lines	30 m

Land Use Regulations:	
Minimum <i>setback</i> from all <i>lot</i> lines for <i>home industry use</i> not contained in an <i>accessory building</i> or <i>structure</i>	30 m

Minimum <i>setback</i> from <i>minor stream</i> for all uses	15 m
Minimum <i>setback</i> from <i>major stream</i> for all uses	30 m
Minimum <i>setback</i> from <i>the ocean</i> for all uses	7.5 m
<i>Intensive agriculture:</i>	
Minimum <i>setback</i> from a <i>dwelling</i> in a Residential zone	50 m
Minimum <i>setback</i> from a <i>stream</i> or water body	30 m
Minimum <i>setback</i> from a <i>road</i> and all <i>lot</i> lines	15 m

4.12 Rural 3 Zone (RU3) (existing A3)

This zone provides for, and encourages, the *development* of large-scale agricultural activities and farm operations on large rural *lots*.

4.12.1 Permitted principal uses:

- 1) *Agriculture use*
- 2) *Residential use*
- 3) *Craft distilleries* provided that a vineyard, orchard or crop of at least 0.8 hectares in area is under continuous cultivation on the *lot*

On lots with a minimum lot area of 2.4 hectares:

- 4) *Medical marijuana facilities*

On lots with a minimum lot area of 16 hectares and on lots in the ALR:

- 5) *Intensive agriculture use*

4.12.2 Permitted accessory uses:

- 1) *Accessory buildings and uses*
- 2) *Accessory dwelling unit*
- 3) *Home occupation*
- 4) *Home industry*
- 5) Sales of farm produce to consumers
- 6) Airfields, airports, enterprises engaged in air transport and services
- 7) Arboreta, botanical gardens, wildlife refuges and similar *uses*
- 8) Fishing and trapping
- 9) Harvesting, transport and storage of forest resources and the erection of necessary facilities such as portable sawmills, but excluding other processing and activities not

directly related such as the transfer of logs to and from the water or large-scale dry-land sorting

- 10) Harvesting of wild crops such as salal, ferns, moss, berries and tree seeds
- 11) *Temporary farm worker housing*
- 12) Not more than two *dormitory units*, provided that they are demonstrated to be essential to the operation of a farm.
- 13) Sales of wine, cider, beer or alcoholic beverage produced on the *lot or lots* comprising a farm and related products, provided that the *retail* area does not exceed the greater of 46.5 square metres or 5 percent of the *floor area* of the *craft distillery*, and *craft distillery* tours
- 14) *Upland aquaculture*

On land that is classified as a farm:

- 15) Temporary or seasonal *agri-tourism* activities

4.12.3 Conditions of use:

- 1) On *lots* 8 hectares or greater, two (2) dwellings are permitted: either two *single-family dwellings* or one *single-family dwelling* and one *accessory dwelling unit*.

4.12.4 Lot development regulations:

Lot Regulations:	
Minimum <i>lot area</i>	4 ha
Minimum <i>lot width</i>	100 m
Maximum <i>lot coverage</i>	30%

Construction Regulations:	
All buildings:	
Minimum front <i>setback</i>	15 m
Minimum side <i>setback</i>	4.5 m
Minimum <i>setback</i> from <i>minor stream</i>	15 m
Minimum <i>setback</i> from <i>major stream</i>	30 m
Principal buildings:	
Maximum <i>building height</i>	10 m

Minimum rear <i>setback</i>	9 m
<i>Accessory buildings:</i>	
Maximum <i>building height</i>	6 m
<i>Graduated height</i>	0.3 m for each additional 1.2 m in side and rear <i>setbacks</i>
Minimum rear <i>setback</i>	4.5 m
Minimum <i>setback</i> from all <i>lot</i> lines for <i>home industry use</i> contained in an <i>accessory building</i> or <i>structure</i>	15 m
<i>Medical marijuana facilities:</i>	
Maximum <i>building height</i>	6 m
Minimum <i>setback</i> from all <i>lot</i> lines	30 m

Land Use Regulations:	
Minimum <i>setback</i> from all <i>lot</i> lines for <i>home industry use</i> not contained in an <i>accessory building</i> or <i>structure</i>	30 m
Minimum <i>setback</i> from <i>minor stream</i> for all <i>uses</i>	15 m
Minimum <i>setback</i> from <i>major stream</i> for all <i>uses</i>	30 m
<i>Intensive agriculture:</i>	
Minimum <i>setback</i> from a <i>dwelling</i> in a Residential <i>zone</i>	50 m
Minimum <i>setback</i> from a <i>stream</i> or water body	30 m
Minimum <i>setback</i> from a <i>road</i> and all <i>lot</i> lines	15 m

4.12.5 Exceptions in Particular Locations

On those lands in Rural 3 *zones* that are identified on the zoning maps by a letter in brackets, the following additional regulations apply:

Zone Variation – RU3(a) (existing A3-1)

This *zone* variation is intended only for District Lot 109, Alberni District.

- 1) Three *single-family dwellings* are permitted as a *principal use*.
- 2) *Medical marijuana facilities* are not a permitted *use*.
- 3) The following additional condition of *use* applies:
 - i. Where the lands are affected by the ALR, approval from the Agricultural Land Commission is required for more than two *single-family dwellings*.
- 4) The *lot development* regulations are varied as follows:

Minimum <i>lot area</i>	16 ha
Minimum <i>lot width</i>	200 m

Zone Variation – RU3(b) (existing A3-2 zone)

This *zone* variation was designed to allow fish farms to construct on-land employee accommodation to support *aquaculture uses*.

- 1) *Medical marijuana facilities* are not a permitted *use*.
- 2) Temporary accommodation in the form of *mobile* or *manufactured homes* is not a permitted *use*.
- 3) On-land employee-only accommodation to support surrounding *aquaculture uses* is an additional permitted *accessory use*.

Zone Variation – RU3(c) (existing Willowbrae Road LUC)

This *zone* variation applies only to Lot 5A, District Lot 468, Clayoquot District, on Willowbrae Road and is intended to reflect the terms of a land-use contract permitting wood processing.

- 1) *Medical marijuana facilities* are not a permitted *use*.
- 2) Permitted *principal uses* include the following:
 - i. Shake-and-shingle mill *use* including a lumber saw
- 3) Permitted *accessory uses* include the following:
 - i. *Retail* sales of products processed on site
 - ii. Indoor and outdoor storage
 - iii. Waste disposal necessary to the operation of the mill
 - iv. *Residential use*
- 4) Conditions of *use* are as follows:
 - i. Outdoor storage and the stockpiling of solid waste materials shall not be located within *setback* areas of a minimum of 12 metres from the *lot* line adjoining Willowbrae Road and a minimum of 90 metres from the southeast corner of the *lot* or on the *foreshore*.
 - ii. A continuous planted *screening* of a minimum depth of 12 metres shall be maintained along all *lot* lines except for the access on Willowbrae Road and along the boundary of Ucluelet Inlet. The *screening* shall cover that portion of the *lot* within 104 metres of the southeast corner of the *lot*.

- iii. The mill shall not be operated before 6:30 a.m. on all days except Sunday, before 10:30 a.m. on Sunday, or after 10:30 p.m. on any day.
- iv. *Residential use* is limited to one *dwelling unit*, which must be located a minimum of 104 metres from the southeast corner of the *lot*.

4.20 Resource Zone (RE) (existing A4)

This *zone* provides for the protection of forest, resource and wild lands. The primary uses allowed in this *zone* are natural resource *development* and extraction.

4.20.1 Permitted *principal use*:

- 1) Forestry and silviculture
- 2) Harvesting, transport, storage of forest resources, including log storage grounds and the operation of primary processing such as portable sawmills, but excluding other processing activities not directly related, such as equipment repair depots
- 3) Harvesting of wild crops such as salal, ferns, moss, berries and tree seeds
- 4) Extraction of natural resources such as sand, gravel, minerals and ore.
- 5) *Agriculture use*
- 6) *Residential use*
- 7) *Upland aquaculture*
- 8) *Aquaculture*-related activities including hatchery and nursery facilities, grow-out ponds and pens, storage, ancillary parking and employee accommodation, but excluding processing
- 9) Airfields, airports, enterprises engaged in air transport and services
- 10) *Craft distilleries* provided that a vineyard, orchard or crop of at least 0.8 hectares in area is under continuous cultivation on the same farm or legal parcel
- 11) Parks, playgrounds and buildings accessory to these uses
- 12) Services and *utilities* including *buildings* accessory to the following uses: sewage disposal, *utility* storage, waste disposal grounds and similar uses
- 13) Rights-of-way for railways, conduits and transmission lines
- 14) Water resource *development* including intake, storage, transmission conduits and hydro-electric works

4.20.2 Permitted *accessory use*:

- 1) *Accessory buildings* and uses
- 2) *Home occupation*
- 3) *Home industry*
- 4) Where a property is being used as a logging camp, for primary processing as a portable sawmill, for other permitted *uses* in accordance with the regulations of this Bylaw or is classified as farm land in accordance with the *Taxation Act*, temporary accommodation in the form of *mobile* or *manufactured homes* or *dormitory units* for employees. Where such *uses* cease to be essential to the operation, they shall be removed.

- 5) Processing incidental to the operation of mines, quarries and other natural resource extraction industries
- 6) Sales of wine, cider, beer or alcoholic beverage produced on the *lot* or *lots* comprising a farm and related products, provided that the *retail* area does not exceed the greater of 46.5 square metres or 5 percent of the *floor area* of the *craft distillery*

On land that is classified as a farm:

- 7) Temporary or seasonal *agri-tourism* activities

4.20.3 Conditions of use:

- 1) On lots 32 hectares or greater, two (2) *dwellings* are permitted: either two *single-family dwellings* or one *single-family dwelling* and one *accessory dwelling unit*.
- 2) Nothing shall be done within 60 metres of any other *zone*, recreation area, roadway or navigable waterway that is or could become an annoyance or nuisance or reduce the enjoyment of the use of the surrounding land, such as unsightliness, the emission of odours, dust, liquid effluent, fumes, smoke, vibration, noise or glare, to residents or visitors to the surrounding area. In addition, nothing shall be done that creates or causes a health, fire or explosion hazard, electrical interference or undue traffic congestion.
- 3) Rights-of-way, licences of occupation or leases created for *uses* permitted in this *zone* are exempt from the minimum *lot area* and minimum *lot width* regulations.
- 6) Permitted log storage grounds shall be exempt from the *lot development* regulations listed above.
- 7) Permitted sand and gravel extraction operations shall be exempt from the *lot development* regulations listed above.

4.20.4 Lot development regulations:

Lot Regulations:	
Minimum <i>lot area</i>	16 ha
Minimum <i>lot width</i>	200 m
Maximum <i>lot coverage</i>	30%

Construction Regulations:	
All buildings:	
Minimum front <i>setback</i>	15 m
Minimum side <i>setback</i>	4.5 m

Minimum <i>setback</i> from <i>minor stream</i>	15 m
Minimum <i>setback</i> from <i>major stream</i>	30 m
Minimum <i>setback</i> from <i>the ocean</i>	7.5 m
Principal <i>buildings</i>:	
Maximum <i>building height</i>	10 m
Minimum rear <i>setback</i>	9 m
Accessory <i>buildings</i>:	
Maximum <i>building height</i>	6 m
<i>Graduated height</i>	0.3 m for each additional 1.2 m in side and rear <i>setbacks</i>
Minimum rear <i>setback</i>	4.5 m
Minimum <i>setback</i> from all <i>lot</i> lines for <i>home industry use</i> contained in an <i>accessory building</i> or <i>structure</i>	15 m

Land Use Regulations:	
Minimum <i>setback</i> from all <i>lot</i> lines for <i>home industry use</i> not contained in an <i>accessory building</i> or <i>structure</i>	30 m
Minimum <i>setback</i> from all <i>lot</i> lines for gravel processing	30 m
Minimum <i>setback</i> from <i>minor stream</i> for all <i>uses</i>	15 m
Minimum <i>setback</i> from <i>major stream</i> for all <i>uses</i>	30 m
Minimum <i>setback</i> from <i>the ocean</i> for all <i>uses</i>	7.5 m

4.30 Residential 1 Zone (R1) (existing R1 and RA1)

This *zone* provides for *single-family residential development* of a more urban character in rural neighbourhoods.

4.30.1 Permitted *principal uses*:

- 1) *Residential use*

4.30.2 Permitted accessory uses:

- 1) *Home occupation*
- 2) *Agriculture use*
- 3) *Accessory buildings and uses*

On lots with a lot a minimum lot area of 0.4 hectare:

- 4) *One accessory dwelling unit*

4.30.3 Lot development regulations:

Lot Regulations:	
Minimum <i>lot area</i>	0.24 ha
Minimum <i>lot area</i> with <i>communal or community water and sewer system</i> in Bamfield	0.1 ha
Minimum <i>lot width</i>	18 m
Maximum <i>lot coverage</i>	30%
Maximum <i>lot coverage</i> for <i>accessory buildings and structures</i>	The greater of 5% or 400 m ²

Construction Regulations:	
All buildings:	
Minimum <i>front setback</i>	12 m
Minimum <i>side setback</i> from <i>flanking street</i>	4.5 m (see 3.11.8)
Minimum <i>setback</i> from <i>minor stream</i>	15 m
Minimum <i>setback</i> from <i>major stream</i>	30 m
Minimum <i>setback</i> from <i>the ocean</i>	7.5 m
Principal buildings:	
Maximum <i>building height</i>	10 m
Minimum <i>side setback</i>	4.5 m
Minimum <i>rear setback</i>	9 m

Accessory buildings:	
Maximum <i>building height</i>	4 m
<i>Graduated height</i>	0.3 m for each additional 1.2 m in side and rear <i>setbacks</i>
Minimum side <i>setback</i>	1 m
Minimum rear <i>setback</i>	1 m

Land Use Regulations:	
Minimum <i>setback</i> from <i>minor stream</i> for all uses	15 m
Minimum <i>setback</i> from <i>major stream</i> for all uses	30 m
Minimum <i>setback</i> from the ocean for all uses	7.5 m

4.30.5 Exceptions in Particular Locations

On those lands in Residential *zones* that are identified on the zoning maps by a letter in brackets, the following additional regulations apply:

Zone Variation – R1(a) (existing RA3)

This *zone* variation is intended to provide for varied *setback* and *lot coverage* requirements.

- 1) The *lot development* regulations are varied as follows:

Lot Regulations:	
Minimum <i>lot width</i>	30 m or 27% of site depth
Maximum <i>lot coverage</i>	15%

Construction Regulations:	
Principal buildings:	
Minimum front <i>setback</i>	15 m
Minimum side <i>setback</i>	5 m

Minimum rear <i>setback</i>	10 m
Minimum <i>setback from a stream</i> for a septic field	60 m

4.31 Residential 2 Zone (R2) (existing RA2)

This zone provides for *single-family residential development* on larger *lots* in certain types of low-density residential settings.

4.31.1 Permitted *principal uses*:

- 1) *Residential use*

4.31.2 Permitted *accessory uses*:

- 1) *Home occupation*
- 2) *Agriculture use*
- 3) *Accessory buildings and uses*

On lots with a minimum *lot area* of 0.4 hectare:

- 4) *One accessory dwelling unit*

4.31.3 *Lot development* regulations:

Lot Regulations:	
Minimum <i>lot area</i>	0.4 ha
Minimum <i>lot area</i> without <i>communal</i> or <i>community water</i> or <i>sewer system</i> in Bamfield	0.24 ha
Minimum <i>lot area</i> with <i>communal</i> or <i>community water</i> and <i>sewer system</i> in Bamfield	0.1 ha
Minimum <i>lot width</i>	36 m
Maximum <i>lot coverage</i>	30%
Maximum <i>lot coverage</i> for <i>accessory buildings</i> and <i>structures</i>	The greater of 5% or 400 m ²

Construction Regulations:
All <i>buildings</i>:

Minimum front <i>setback</i>	12 m
Minimum side <i>setback</i> from <i>flanking street</i>	4.5 m
Minimum <i>setback</i> from <i>minor stream</i>	15 m
Minimum <i>setback</i> from <i>major stream</i>	30 m
Minimum <i>setback</i> from <i>the ocean</i>	7.5 m
Principal buildings:	
Maximum <i>building height</i>	10 m
Minimum side <i>setback</i>	4.5 m
Minimum rear <i>setback</i>	9 m
Accessory buildings:	
Maximum <i>building height</i>	4 m
<i>Graduated height</i>	0.3 m for each additional 1.2 m in side and rear <i>setbacks</i>
Minimum side <i>setback</i>	1 m
Minimum rear <i>setback</i>	1 m

Land Use Regulations:	
Minimum <i>setback</i> from <i>minor stream</i> for all uses	15 m
Minimum <i>setback</i> from <i>major stream</i> for all uses	30 m
Minimum <i>setback</i> from <i>the ocean</i> for all uses	7.5 m

4.31.5 Exceptions in Particular Locations

On those lands in Residential 2 *zones* that are identified on the zoning maps by a letter in brackets, the following additional regulations apply:

Zone Variation – R2(a) (existing GH and BAM properties designated MU in OCP)

This *zone* variation is intended to provide accommodation, primarily of a “*bed-and-breakfast*” character, to transient tourists and vacationers.

- 1) One *single-family dwelling* or one *guesthouse* is permitted as a *principal use*.
- 2) The following additional conditions of *use* apply:
 - i. For a *guesthouse*, the minimum *floor area* on the main floor shall be 84 square metres.
 - ii. *Accessory uses* for the *guesthouse* shall not include restaurants, dining rooms or lounges open to the general public. Dining facilities provided shall be for the exclusive use of overnight guests of the establishment.
 - iii. Where accommodation is provided for the *family* of a *guesthouse* operator, it shall be located within the *guesthouse*.
- 3) The minimum *lot width* is 37 metres.

4.32 Residential 3 Zone (R3) (existing R2)

This zone provides for the *development* and *use* of *duplex* or *two-family dwellings*.

4.32.1 Permitted principal uses:

- 1) *Residential use*

4.32.2 Permitted accessory uses:

- 1) *Home occupation*
- 2) *Agriculture use*
- 3) *Accessory buildings and uses*

On lots with a minimum lot area of 0.4 hectare:

- 4) One *accessory dwelling unit*

4.32.3 Conditions of use:

- 1) *Residential use* may take the form of a *single-family dwelling* or a *two-family dwelling*.
- 2) *Accessory buildings and uses* are permitted only where the *principal use* is a *single-family dwelling*.
- 3) An *accessory dwelling unit* is permitted only when the *principal use* is a *single-family dwelling*.

4.32.4 Lot development regulations:

Lot Regulations:	
Minimum <i>lot area</i>	0.24 ha
Minimum <i>lot area</i> with <i>communal</i> or <i>community water</i> and <i>sewer system</i> in Bamfield	0.1 ha

Minimum <i>lot width</i>	36 m
Maximum <i>lot coverage</i>	30%

Construction Regulations:	
All buildings:	
Minimum front <i>setback</i>	12 m
Minimum side <i>setback</i> from <i>flanking street</i>	4.5 m
Minimum <i>setback</i> from <i>minor stream</i>	15 m
Minimum <i>setback</i> from <i>major stream</i>	30 m
Minimum <i>setback</i> from <i>the ocean</i>	7.5 m
Principal buildings:	
Maximum <i>building height</i>	10 m
Minimum side <i>setback</i>	4.5 m
Minimum rear <i>setback</i>	9 m
Accessory buildings:	
Maximum <i>building height</i>	4 m
<i>Graduated height</i>	0.3 m for each additional 1.2 m in side and rear <i>setbacks</i>
Total combined <i>gross floor area</i>	5% of the <i>lot area</i> or 62 m ² , whichever is greater
Minimum side <i>setback</i>	1 m
Minimum rear <i>setback</i>	1 m

Land Use Regulations:	
Minimum <i>setback</i> from <i>minor stream</i> for all uses	15 m
Minimum <i>setback</i> from <i>major stream</i> for all uses	30 m

Minimum <i>setback from the ocean</i> for all uses	7.5 m
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4.33 Residential 4 Zone (R4) (existing RM1 and RM2)

This zone provides for *multiple-family dwellings*.

4.33.1 Permitted *principal uses*:

- 1) *Residential use*

4.33.2 Permitted *accessory uses*:

- 1) *Agriculture use*
- 2) *Accessory buildings and uses*

4.33.3 *Conditions of use*:

- 1) The *residential use* may take the form of a *single-family dwelling, a boarding, lodging or rooming house, two-family dwelling, apartment building or row housing*.
- 2) The maximum density shall be the greater of ten (10) *dwelling units per lot* or one (1) *dwelling unit per 500 square metres of lot area*.
- 3) Access to each *dwelling unit* shall be provided from a common hall or walkway and shall be designed and located to avoid passing within 3 metres of a window of a *habitable room* of any other *dwelling unit* unless an effective screen protects the privacy of the room.
- 4) Balconies that allow access from one *dwelling unit* to another are not permitted.
- 5) For *garden apartment use*, the total *residential floor area* of all principal *buildings* shall not be more than half that portion of the *lot area* that is located at least 3.6 metres from the centre-line or centre of any lane.
- 6) For *apartment building use*, the total *residential floor area* of all principal *buildings* shall not be more than 80 percent of that portion of the *lot area* that is located at least 3.6 metres from the centre-line or centre of any lane.
- 7) The principal access to each *building* shall be from an outdoor or unenclosed area.
- 8) *Usable open space* shall be provided on the *lot* at a ratio of not less than 46.5 square metres for each three-bedroom *dwelling unit* and not less than 18.5 square metres for each *dwelling unit* of smaller size.

4.33.4 *Lot development regulations*:

Lot Regulations:	
Minimum <i>lot area</i>	1 ha
Minimum <i>lot area</i> with <i>communal or community water and sewer system</i> in Bamfield	0.1 ha

Minimum <i>lot width</i>	50 m
Maximum <i>lot coverage</i>	30%

Construction Regulations:	
All buildings:	
Minimum front <i>setback</i>	12 m
Minimum side <i>setback</i> from <i>flanking street</i>	4.5 m
Minimum <i>setback</i> from <i>minor stream</i>	15 m
Minimum <i>setback</i> from <i>major stream</i>	30 m
Principal buildings:	
Maximum <i>building height</i>	10 m
Minimum side <i>setback</i>	4.5 m
Minimum rear <i>setback</i>	9 m
Accessory buildings:	
Maximum <i>building height</i>	4 m
<i>Graduated height</i>	0.3 m for each additional 1.2 m in side and rear <i>setbacks</i>
Minimum side <i>setback</i>	1 m
Minimum rear <i>setback</i>	3 m

Land Use Regulations:	
Minimum <i>setback</i> from <i>minor stream</i> for all uses	15 m
Minimum <i>setback</i> from <i>major stream</i> for all uses	30 m

4.34 Residential 5 Zone (R5) (existing RMH zone)

This *zone* provides for the accommodation of *mobile* or *manufactured homes* in courts or parks in areas that are close to services and community facilities and are compatible with adjacent *land uses*.

4.34.1 Permitted principal uses:

- 1) *Residential use*

4.34.2 Permitted accessory uses:

- 1) *Accessory buildings and uses*

4.34.3 Conditions of use:

- 1) *Residential use* may take the following forms:
 - i. *Mobile* or *manufactured home* and
 - ii. One permanent *dwelling unit* for the owner, caretaker or watchman, provided the *dwelling unit* is located on the same *lot*
- 2) Adequate on-site sewage disposal and domestic water shall be provided for all *dwelling units*.
- 3) The use, design and operation of all *buildings*, sites, facilities and services shall comply with the requirements of applicable agency regulations such as the *Manufactured Home Park Act* and Regulations and the *Public Health Act*.
- 4) Each site shall have all its boundaries clearly and permanently marked on the ground.
- 5) All sites shall have unobstructed, but not necessarily direct, access to a *street*.
- 6) All driveways shall be at least 6.0 metres in width, shall be hard-surfaced or graveled and shall be lighted at night to a minimum luminance of 2.152 lumens or 0.00322 watts.
- 7) A maximum of 50 percent (50%) of the area of a *manufactured-home* park may be comprised of the combination of the following areas:
 - i. all *buildings*,
 - ii. all *manufactured-home* sites of 344 square metres or less, and
 - iii. an area of 344 square metres within each *manufactured-home* site greater than 344 square metres.
- 8) Electrical energy at 115/230 nominal voltage shall be made available to each *manufactured-home* site, and electrical energy outlets shall be maintained to the satisfaction of the Electrical Energy Inspector.

4.34.4 Lot development regulations:

- 1) For *mobile-* or *manufactured-home* parks:

Lot Regulations:

Minimum <i>lot area</i>	1 ha
Minimum <i>lot area</i> with <i>communal</i> or <i>community water</i> and <i>sewer system</i> in Bamfield	0.1 ha
Minimum <i>lot width</i>	60 m
Maximum density	20 sites per ha
Minimum number of <i>strata lots</i> when a <i>manufactured-home park</i> is subdivided in accordance with the <i>Strata Property Act</i>	10
Maximum number of <i>strata lots</i> when a <i>manufactured-home park</i> is subdivided in accordance with the <i>Strata Property Act</i>	40

Park Construction Regulations:	
All buildings:	
Minimum front <i>setback</i>	7.6 m
Minimum side <i>setback</i>	7.6 m
Minimum rear <i>setback</i>	7.6 m
Minimum <i>setback</i> from <i>minor stream</i>	15 m
Minimum <i>setback</i> from <i>major stream</i>	30 m

Land Use Regulations:	
Minimum <i>setback</i> from <i>minor stream</i> for all uses	15 m
Minimum <i>setback</i> from <i>major stream</i> for all uses	30 m

2) For *mobile-* or *manufactured-home* sites:

Site Regulations:	
Minimum <i>site area</i> for a single-wide <i>manufactured home</i>	260 m ²
Minimum width of <i>site area</i> for single-wide <i>manufactured homes</i>	11 m

Minimum <i>site area</i> for a double-wide <i>manufactured home</i>	350 m ²
Minimum width of <i>site area</i> for double-wide <i>manufactured homes</i>	15 m
Minimum width of roadway	7.6 m
Minimum continuous <i>site frontage</i> on a roadway	4.5 m

Site Construction Regulations:	
All dwellings:	
Maximum height	9 m
Minimum front <i>setback</i> from site boundary	3 m
Minimum side <i>setback</i> from site boundary	1.5 m
Minimum side <i>setback</i> from <i>flanking street</i>	7.6 m
Minimum combined width of any two adjoining <i>side yards</i>	6 m
Minimum rear <i>setback</i> from site boundary	2 m
Accessory buildings:	
Maximum height	4 m
<i>Graduated height</i>	0.3 m for each additional 0.6 m in side and rear <i>setbacks</i>
Minimum rear <i>setback</i>	1 m
Minimum rear <i>setback</i> for <i>accessory building</i> if adjoining property is zoned R1, R2, R3 or R4	3 m
Minimum side <i>setback</i>	1 m
Minimum side <i>setback</i> from <i>flanking street</i>	7.6 m

4.34.5 Exceptions in Particular Locations

On those lands in Residential 5 *zones* that are identified on the zoning maps by a letter in brackets, the following additional regulations apply:

Zone Variation – R5(a) (existing Greenridge LUC)

This *zone* variation applies only to Greenridge/Larsen Manufactured Home Park, 4935 Broughton Street, and is intended to reflect the terms of a land-use contract for an adult-oriented *manufactured home* park.

- 1) *Principal uses* within this *zone* variation are limited to a maximum of 33 *manufactured homes*.

Zone Variation – R5(b) (existing LUC)

This *zone* variation applies only to Jay-Lee Manufactured Home Park, 2917 Alberni Highway, and is intended to reflect the terms of a land-use contract for a *manufactured home* park.

- 1) *Principal uses* within this *zone* variation are limited to a maximum of 24 *manufactured homes* and 2 *single-family dwellings*.
- 2) As a condition of *use*, 10-metre-deep *screening* consisting of a continuous evergreen hedge shall be maintained along the entire *lot* line adjoining Edland Road, except for vehicle access points to the property.

Zone Variation – R5(c) (existing LUC)

This *zone* variation applies only to Cougar Manufactured Home Park, 3258 Alberni Highway, and is intended to reflect the terms of a land-use contract for a *manufactured home* park.

- 1) *Principal uses* within this *zone* variation are limited to a maximum of 16 sites for *manufactured homes*.
- 2) The following additional conditions of *use* apply:
 - i. A 45.7-metre *setback* from Rogers Creek shall be retained in its natural state as potential park land reserve or greenspace.

4.35 Residential 6 Zone (R6) (existing RC zone)

This *zone* provides for small-scale *cottage development* in *single-family* neighbourhoods, with the intention of providing temporary accommodation on a short-term basis to visitors and seasonal workers.

4.35.1 Permitted *principal uses*:

- 1) *Residential use*

4.35.2 Permitted *accessory uses*:

- 1) *Home occupation*
- 2) *Agriculture use*

- 3) *Accessory buildings and uses*
- 4) *Cottages*

4.35.3 Conditions of use:

- 1) On any *lot* with a *lot area* of less than 0.8 hectare and with two *single-family dwellings* on it, *accessory dwelling units* are not permitted.

4.35.4 Lot development regulations:

Lot Regulations:	
Minimum <i>lot area</i>	0.24 ha
Minimum <i>lot area</i> with <i>communal or community water and sewer system</i> in Bamfield	0.1 ha
Minimum <i>lot width</i>	27 m
Maximum <i>lot coverage</i>	30%

Construction Regulations:	
All buildings:	
Minimum front <i>setback</i>	12 m
Minimum side <i>setback</i> from <i>flanking street</i>	4.5 m
Minimum <i>setback</i> from <i>minor stream</i>	15 m
Minimum <i>setback</i> from <i>major stream</i>	30 m
Minimum <i>setback</i> from <i>the ocean</i>	7.5 m
Principal buildings:	
Maximum <i>building height</i>	10 m
Minimum <i>floor area</i>	84 m ²
Minimum side <i>setback</i>	4.5 m
Minimum rear <i>setback</i>	9 m
Cottages:	

Maximum <i>building height</i>	1 <i>storey</i>
Minimum <i>floor area</i>	28 m ²
Maximum <i>floor area</i> on the main floor	47 m ²
Minimum <i>side setback</i>	4.5 m
Minimum <i>rear setback</i>	9 m
Accessory buildings:	
Maximum <i>building height</i>	4 m
<i>Graduated height</i>	0.3 m for each additional 1.2 m in <i>side</i> and <i>rear setbacks</i>
Minimum <i>side setback</i>	1 m
Minimum <i>rear setback</i>	1 m

Land Use Regulations:	
Minimum distance between <i>dwelling</i> s	9 m
Maximum density per <i>lot</i>	One <i>single-family dwelling</i> and four <i>cottages</i> or one <i>single-family dwelling</i> and one <i>cottage</i> per 1000 m ² of <i>lot</i> area, whichever is less
Minimum <i>setback</i> from <i>minor stream</i> for all <i>uses</i>	15 m
Minimum <i>setback</i> from <i>major stream</i> for all <i>uses</i>	30 m
Minimum <i>setback</i> from the <i>ocean</i> for all <i>uses</i>	7.5 m

4.35.5 Exceptions in Particular Locations

On those lands in Residential 6 *zones* that are identified on the zoning maps by a letter in brackets, the following additional regulations apply:

Zone Variation – R6(a) (existing BRC zone)

This *zone* variation provides restrictions on the number of detached *accessory dwelling units* or *cottages* that may be developed in some locations.

- 1) The following additional condition of *use* applies:
 - i. On any *lot* with a *lot* area of less than 0.2 hectare, *accessory dwelling units* are not permitted.
- 2) The R6 *zone lot development* regulations are varied as follows:

Detached Accessory Dwelling Units:	
Minimum <i>floor area</i>	33 m ²
Maximum number of ADUs on <i>lots</i> with a <i>lot area</i> between 0.2 and 0.3 hectare	1
Maximum number of ADUs on <i>lots</i> with a <i>lot area</i> between 0.3 and 0.4 hectare	2
Maximum number of ADUs on <i>lots</i> with a <i>lot area</i> greater than 0.4 hectare	3

Zone Variation – R6(b) (existing ARC zone, island in Taylor Arm)

This *zone* variation provides for low-impact *cottage development* that is compatible with rural *uses* and is primarily intended to provide temporary accommodation on a short-term basis to visitors and seasonal workers.

- 1) The following additional condition of *use* applies:
 - i. The *half storey* or loft in an *accessory dwelling unit* may be used only for sleeping.
- 2) The R6 *zone lot development* regulations are varied as follows:

Lot regulations:	
Minimum <i>lot area</i> for an ADU	1.2 ha
Minimum <i>lot width</i>	60 m
Maximum <i>lot coverage</i>	10%
Detached ADUs:	
Maximum <i>building height</i>	6.7 m
Minimum <i>floor area</i>	33 m ²
Maximum <i>floor area</i> on the main floor	70 m ²
Maximum <i>floor area</i> of <i>half storey</i> or loft	50% of main <i>floor area</i>

4.40 Recreational Residential 1 Zone (RR1) (existing RVH)

This *zone* provides for *seasonal dwellings* principally intended to accommodate vacationing families in the summer season or sport fishermen and hunters in other seasons, particularly in areas which are unsuitable for year-round residence because of inadequate services and community facilities.

4.40.1 Permitted principal uses:

- 1) *Residential use*

4.40.2 Permitted accessory uses:

- 1) *Agriculture use*
- 2) *Accessory buildings and uses*

4.40.3 Conditions of use:

- 1) *Residential use* may take the form of a *seasonal dwelling* or a *manufactured home*. The *dwelling* or *manufactured home* shall not be occupied as a permanent home or residence.
- 2) Neither the Regional District nor *utility* providers shall be expected or required to provide any public *utilities* or any other works or services to *lots* in this *zone*.

4.40.4 Lot development regulations:

Lot Regulations:	
Minimum <i>lot area</i>	0.24 ha
Minimum <i>lot area</i> with <i>communal</i> or <i>community water</i> and <i>sewer system</i> in Bamfield	0.1 ha
Minimum <i>lot width</i>	30 m
Maximum <i>lot coverage</i>	20%

Construction Regulations:	
All buildings:	
Minimum front <i>setback</i>	10 m
Minimum <i>setback</i> from <i>minor stream</i>	15 m

Minimum <i>setback</i> from <i>major stream</i>	30 m
Seasonal dwellings:	
Maximum <i>building height</i>	10 m
Minimum <i>floor area</i>	17 m ²
Minimum <i>side setback</i>	4.5 m
Minimum <i>rear setback</i>	10 m
Accessory buildings:	
Maximum <i>building height</i>	4 m
<i>Graduated height</i>	0.3 m for each additional 1.2 m in <i>side</i> and <i>rear setbacks</i>
Maximum total combined <i>gross floor area</i>	5% of the <i>lot area</i>
Minimum <i>side setback</i>	1 m
Minimum <i>rear setback</i>	1 m

Land Use Regulations:	
Minimum <i>setback</i> from <i>minor stream</i> for all <i>uses</i>	15 m
Minimum <i>setback</i> from <i>major stream</i> for all <i>uses</i>	30 m

4.40.5 Exceptions in Particular Locations

On those lands in Recreation Residential *zones* that are identified on the zoning maps by a letter in brackets, the following additional regulations apply:

Zone Variation – RR1(a) (existing SC zone, [Hot Springs Cove](#))

This *zone* variation provides for small-scale *cottage development* in less directly accessible or remote locations, intended to provide seasonal accommodation primarily during summer months.

- 1) *Residential use* is limited to one *seasonal dwelling*.
- 2) The following additional *accessory uses* are permitted:
 - i. *Caretaker's residence*
 - ii. *Recreational use*

- 3) Conditions of use:
- i. The density shall not exceed:
 - a) one *seasonal dwelling* per *strata lot* and
 - b) 50 *seasonal dwellings* and one *caretaker's residence* per 80 hectares.
 - ii. Neither the Regional District nor *utility* providers shall be expected or required to provide any public *utilities* or any other works or services to *lots* in this *zone*.
- 4) The following *lot development* regulations apply:

Lot Regulations:	
Minimum <i>site area</i> for a <i>seasonal dwelling</i>	0.8 ha
Minimum <i>lot area</i> for subdivision purposes	0.8 ha
Maximum <i>lot coverage</i>	2%

Construction Regulations:	
All buildings:	
Minimum <i>setback</i> between <i>buildings</i>	5 m
Minimum setback from <i>lot</i> lines or <i>strata lot</i> lines	10 m
Minimum <i>setback</i> from water	15 m
Seasonal dwellings:	
Maximum <i>building height</i>	7 m
Minimum width	5 m
Minimum <i>floor area</i>	24 m ²
Maximum <i>floor area</i>	52 m ²
Caretaker's residence:	
Maximum <i>building height</i>	10 m
Minimum <i>floor area</i>	52 m ²
Maximum combined <i>gross floor area</i> of <i>caretaker's residence</i> and <i>accessory buildings</i>	62 m ² or 5% of the <i>lot area</i> , whichever is greater

Accessory buildings:	
Maximum <i>building height</i>	5 m
Maximum <i>floor area</i>	28 m ²
Minimum side <i>setback</i>	1 m
Minimum rear <i>setback</i>	1 m

Zone Variation – RR1(b) (Wickaninnish Island LUC)

This *zone* variation applies to Wickaninnish Island Estates, District Lot 1161, Clayoquot District, only and is intended to reflect the terms of a land-use contract for the island. The contract provides for seasonal accommodation and year-round caretaker accommodation without any services provided by the Regional District.

- 1) Permitted *principal uses*:
 - i. *Residential use*
 - ii. Central meeting *lodge*
 - iii. Guest cabins
- 2) Permitted *accessory uses*:
 - i. *Accessory buildings and uses*
 - ii. Greenhouses
- 3) The following conditions of *use* apply:
 - i. *Residential use* is limited to the following:
 - a) a maximum of 35 *seasonal dwellings*
 - b) a maximum of 4 guest *cabins*
 - c) Only one (1) of the *dwellings* may be used as a year-round *caretaker's residence*.

Zone Variation – RR1(c) (Headquarters Bay LUC)

This *zone* variation applies Headquarters Bay Section 77 only and is intended to reflect the terms of a land-use contract for the property. The contract permits the provision of seasonal accommodation for people seeking a wilderness experience.

- 1) Permitted *residential use* is limited to the following:
 - i. A maximum of 41 sites, each with one *seasonal dwelling or manufactured home*
 - ii. A *caretaker's residence* may be constructed for year-round occupancy on one of the sites.
- 2) Additional *accessory uses* include the following:
 - i. boat launch and moorage facilities
- 3) Conditions of *use*:

- i. No boat launch or moorage facilities shall be constructed without a *foreshore* lease from the relevant provincial authority.
- ii. All services, including *roads* on the property, are the responsibility of the owners of the property. Neither the Regional District nor *utility* providers shall be expected or required to provide any public *utilities* or any other works or services to the property.
- iii. In the event of default by the owners in maintenance of any facilities or equipment necessary for the health and safety of the owners, the Regional District may enter the property and correct the default at the expense of the owners.

4) The *lot development* regulations are varied as follows:

Minimum <i>site area</i>	2 ha
Minimum <i>floor area of seasonal dwellings</i>	19 m ²
Maximum <i>floor area of seasonal dwellings</i>	111 m ²
Minimum <i>setback</i> from <i>natural boundary</i> of Alberni Inlet	11 m
Minimum elevation of the lowest floor level above the <i>natural boundary</i> of Alberni Inlet	4 m

4.41 Recreational Residential 2 Zone (RR2) (existing MR, Salmon Beach)

This *zone* provides for seasonal recreational *use*. It is intended for lands that are located at Salmon Beach and requiring minimal infrastructure, which is to be provided by the property owner.

Definitions

CABIN ACCESSORY means the following:

USE

- 1) parking of not more than two (2) vehicles,
- 2) in the case of a *lot* having a *lot area* greater than 557.41 square metres, a *cabin* not exceeding 52.02 square metres in *floor area*,
- 3) in the case of a *lot* having a *lot area* greater than 873.29 square metres, a *cabin* not exceeding 71.35 square metres,
- 4) a *deck* or *decks* with a maximum combined horizontal area of 92.9 square metres and one (1) *porch* with a maximum horizontal area of 22.3 square metres.

COMMON-SERVICES

means an enclosed service *building* containing elements of infrastructure that are appropriate on the *lot*, including but not limited to common generator equipment,

BUILDING	common battery banks, photovoltaic apparatus and geothermal heat-exchange systems and equipment.
COMMON-USE FACILITIES	means the following: <ol style="list-style-type: none"> 1) <i>structures</i> required to contain fire, emergency or garbage collection equipment or community centre social activities, 2) <i>screened</i> compounds for the storage of <i>recreational vehicles</i>, boats or boat trailers, 3) gazebos and/or barbecue and picnic shelters and pits, 4) boat launch facilities, 5) common recreational facilities such as playing fields and tennis courts, 6) common washroom/toilet facilities subject to formal approval of sewage disposal method by the appropriate provincial authority, 7) common <i>parking areas</i>, and 8) covered storage facilities within compounds described in point 2) above.
GROUND COVER	means the total of the gross horizontal area of land covered by a permitted portico, measured in relation to the point on the ground directly below the outermost perimeter of the portico.
HALF STOREY	means a habitable space or loft constructed above the first floor (or main floor) level within the roof space used exclusively for sleeping purposes and limited in total <i>floor area</i> to no more than 50% of permitted <i>cabin floor area</i> , on the first or main floor level.
HEIGHT	means, for the RR2 <i>zone</i> , the vertical distance between the topmost part of the <i>structure</i> to <i>average natural grade</i> taken with 0.9 metres around the perimeter of the base of the <i>building</i> or <i>structure</i> .
PORCH	means a <i>structure</i> abutting a <i>dwelling</i> , having a roof but with walls that are open and unenclosed for at least 50 percent of the perimeter except for removable screens.
PORTICO ACCESSORY USE	means the following: <ol style="list-style-type: none"> 1) parking of not more than three vehicles, one of which may be a <i>recreational vehicle</i>, and 2) one portico, being a <i>structure</i> having a <i>ground cover</i> not exceeding 39.01 square metres or the area of any permitted recreational <i>trailer</i> placed on site, 3) a <i>deck</i> or <i>decks</i> with a maximum combined horizontal area of 92.9 square metres.
SEASONAL RECREATIONAL	means periodic non-permanent use for seasonal vacations and recreational purposes and not as the principal residence of the owners or occupiers of the <i>lot</i> .

USE

4.41.1 Permitted principal uses:

- 1) *seasonal recreational use*

4.41.2 Permitted accessory uses:

- 1) *common-use facilities*
- 2) one (1) *storage building* having a maximum *floor area* of 14.86 square metres and a maximum *height* of 3.66 metres
- 3) one (1) *common-services building* having a maximum *floor area* of 2.32 square metres
- 4) one (1) *trailer/portico accessory use* or *cabin accessory use*

4.41.3 Conditions of use:

- 1) A *lot* in this *zone* may not be used or any *building* or *structure* constructed if it is not in conformance with the RR2 *zone* regulations.
- 2) *Seasonal recreational use* shall be occupied for a maximum of 180 days in each calendar year, whether the *use* is continuous or intermittent.
- 3) For certainty, a *trailer/portico accessory use* and a *cabin accessory use* are not permitted on the same parcel, and one (1) recreational *trailer* may only be stored on a *lot* where an owner does not use the *lot* for a *cabin accessory use*.
- 4) A portico shall be freestanding.
- 5) A portico shall be post-and-beam construction and open-ended on all sides.
- 6) A portico shall be constructed upon permanent foundations or provide tie-downs for a permitted *recreational* (or *travel*) *trailer*.
- 7) The portico shall not be used for storage of any kind, including storage of firewood and household goods, but may be used for the parking of vehicles and a *recreational vehicle* or a recreational *trailer*.
- 8) Foundations may be constructed only for the following permitted *uses* as defined above:
 - a) *common-use facility*
 - b) *storage building*
 - c) *common-services building*
 - d) portico for *portico accessory use*
 - e) *cabin* for *cabin accessory use*
- 9) *Common-services buildings* are the only *buildings* that may be located within *front yards* in this *zone*.
- 10) A *common-use facility*, *storage building* or *common-services building* shall not be used for human accommodation or human occupancy.
- 11) The density of *development* and *use* on each parcel is limited to:
 - a) one (1) recreational *trailer* or, provided the *lot area* is at least 557 square metres, one (1) *cabin*, or
 - b) two (2)) vehicle *parking spaces*, except as permitted for *portico accessory use*.

- 12) All compounds for *recreational vehicle* storage and boat/boat-trailer storage must be enclosed by a fence of a maximum *height* of 2 metres, except for necessary access and egress points, gated appropriately.
- 13) No individual or collective pressurized-water system is permitted serving any *trailer* or any other facility or *accessory building* or any group of such within the *development*.
- 14) A pressurized-water-supply system shall include all forms of water distribution through pipes or conduits by *use* of a motor-driven pump or pressure head excluding that contained within a *trailer* as an integral component or similar systems used within *cabins* permitted by the RR2 regulations and excluding internally-sited gravity-feed systems.
- 15) Common wells shall be permitted only under the following conditions:
 - a) restricted to hand-pump-activating mechanisms only, and
 - b) limited and restricted to one (1) common well per block or per group of a maximum of 20 *lots*.
- 16) For certainty, Sections 3.11, Accessory Buildings and Uses, and 3.14, Home Occupation, of this Bylaw do not apply to the Recreational Residential 2 (RR2) *zone*.
- 17) Neither the Regional District nor *utility* providers shall be expected or required to provide any public *utilities* or any other works or services to *lots* in this *zone*.

4.41.4 The following *lot development* regulations apply:

Lot Regulations:	
Minimum <i>lot area</i>	0.24 ha

Construction Regulations:	
<i>All common-use facilities and all accessory buildings and uses including cabins:</i>	
Minimum front <i>setback</i>	6.096 m
Minimum rear <i>setback</i>	6.096 m
Minimum side <i>setback</i>	3.04 m
<i>Cabin:</i>	
Maximum <i>height</i>	1.5 <i>storeys</i> or 5.54 m
Maximum <i>floor area</i> on a <i>lot</i> with a <i>lot area</i> of 557.47 m ² or greater	52.02 m ²
Maximum <i>floor area</i> on a <i>lot</i> with a <i>lot area</i> of	71.35 m ²

873.29 m ² or greater	
Deck:	
Maximum combined area of all <i>decks</i> on a <i>cabin</i>	92.9 m ²
Porch:	
Maximum area of a <i>porch</i> on a <i>cabin</i>	22.3 m ²
Accessory buildings:	
Maximum <i>height</i>	3.7 m
Common-use facilities, storage buildings and common-services buildings:	
Maximum <i>height</i>	1 storey or 3.66 m
Storage building:	
Maximum <i>floor area</i>	14.86 m ²
Common-services building:	
Maximum <i>floor area</i>	2.32 m ² per <i>lot</i> serviced to a maximum of 14.85 m ²
Minimum <i>setback</i> from all <i>lot</i> lines	1.0 m
Portico:	
Maximum <i>height</i>	5.53 m or the <i>height</i> of a <i>trailer</i> plus 0.9 m, whichever is less
Maximum <i>ground cover</i>	39.01 m ² or area of any permitted recreational <i>trailer</i> on the site
Fence around compound for vehicle storage:	
Maximum <i>height</i>	2.0 m

4.50 Commercial 1 Zone (C1) (existing C1, C2, C2A, C3 and C4)

This *zone* is intended to provide the flexibility required for local shopping and services in rural communities to serve the residents and visitors at the community level. It allows a variety of

commercial uses, from *convenience stores* to *drive-in shopping-centre*-type and pedestrian-oriented commercial and *office development*.

4.50.1 Permitted *principal uses*:

- 1) The following *retail* outlets:
 - i. food stores
 - ii. general merchandise stores
 - iii. bakeries
 - iv. gift stores
 - v. apparel and shoe stores
 - vi. drugstores
 - vii. liquor stores
 - viii. automotive products
 - ix. ship chandlery goods and marine components and equipment
 - x. garden supplies, nurseries and greenhouses
 - xi. hardware stores
 - xii. lumber and *building* materials
 - xiii. furniture, appliance and electronics stores and repair shops
 - xiv. antique and second-hand stores
- 2) *Offices* for services and businesses including but not limited to:
 - i. financial institutions
 - ii. credit agencies
 - iii. insurance agencies
 - iv. real estate agencies
 - v. printing and publishing
 - vi. photography, including *development*
 - vii. *communication services* and broadcasting
 - viii. labour organizations and trade associations
 - ix. *animal care*
 - x. *building* construction
 - xi. special trade contractors
 - xii. general *office use* including services to business management
- 3) *Offices* and facilities for health, welfare and *medical services* including but not limited to:
 - i. physicians and surgeons
 - ii. paramedical personnel
 - iii. dentists
 - iv. diagnostic and therapeutic services
 - v. veterinarians
 - vi. miscellaneous health and *medical services*
- 4) Outlets for *personal services* including but not limited to:
 - i. shoe repair shops
 - ii. barber and beauty shops
 - iii. esthetics

- iv. laundries and dry-cleaners
- v. funeral services excluding cemeteries and crematoria
- 5) Facilities for health and fitness facilities including but not limited to:
 - i. yoga and/or dance studios
 - ii. spas
 - iii. fitness clubs and similar facilities
- 6) Transportation-related services and *uses* including but not limited to:
 - i. fuel stations excluding maintenance and repair facilities
 - ii. small engine repairs and service
 - iii. *cartage and delivery* and/or express services
 - iv. transportation depots, excluding maintenance and repair facilities
 - v. taxicab operations, excluding maintenance and repair facilities
- 7) Entertainment and recreational services including but not limited to:
 - i. tourist guide services
 - ii. theatres for movies and/or live productions
 - iii. restaurants, diners, cafés and other eating establishments
 - iv. *clubs and lodges*
 - v. bowling alleys and billiard parlours
 - vi. night-clubs, cabarets, bars, pubs

On lots with a minimum lot area of 0.4 hectare, the following additional principal uses are permitted: (C3 and C4)

- 8) Fuel stations with maintenance and repair facilities
- 9) The following additional *retail* outlets:
 - i. vehicle dealers including *automobile, recreational vehicle* and *boat sales* and *rental lots*
 - ii. *modular home* and *building* dealers
- 10) Facilities for service providers including but not limited to:
 - i. *motor vehicle repair shops*
 - ii. auto-body repair shops and auto-body spray-painting shops
 - iii. car-washing establishments
 - iv. sale of bulk petroleum products
 - v. boat repair and maintenance shops
 - vi. *auction rooms*
 - vii. frozen-food lockers

4.50.2 Permitted accessory uses:

- 1) *Residential use*
- 2) *Caretaker use*
- 3) *Accessory buildings and uses*

4.50.3 Conditions of use:

- 1) *Residential use* shall be located above or behind *commercial use* and completely separate from it.
- 2) *Dwelling units* located above commercial uses shall comply with the following requirements:
 - i. The ground floor of the *building* shall be used only for commercial purposes.
 - ii. Any *dwelling unit* or *units* shall be provided with an entrance that is entirely separate from the *commercial use* and that accesses directly onto the *street*.
 - iii. All *dwelling units* shall be entirely self-contained.
- 3) All business, repair and servicing *uses* shall be conducted within a completely-enclosed *building* except for permitted outdoor display, rental, sales, *storage yards*, parking and loading facilities.
- 4) Any part of a *lot* used or intended to be used as an outside *storage yard* shall be enclosed by *screening* on any side not facing directly upon the principal *building* on the *lot*, and no material shall be piled or stacked to extend above such *screening*.
- 5) Parking for any *dwelling unit* or *units* shall be located so that it does not impede access to the commercial premises or *use* or off-*street* loading facilities.
- 6) Where a principal *building* is set back from the *required front yard*, parking may be provided in the *required front yard*, provided that the total *landscaped* area between the *front lot line* and the *front line of the building* is not less than that which otherwise would be required if parking were not permitted in the *front yard*.

4.50.4 Lot development regulations:

Lot Regulations:	
Minimum <i>lot area</i>	0.24 ha
Minimum <i>lot area</i> with <i>communal</i> or <i>community water</i> and <i>sewer system</i> in Bamfield	0.1 ha
Minimum <i>lot width</i>	15 m
Maximum <i>lot coverage</i>	75%

Construction Regulations:	
All buildings:	
Minimum <i>setback</i> from <i>minor stream</i>	15 m
Minimum <i>setback</i> from <i>major stream</i>	30 m
Minimum <i>setback</i> from the <i>ocean</i>	7.5 m

Minimum front <i>setback</i>	6 m
Minimum side <i>setback</i>	1 m
Minimum rear <i>setback</i>	6 m
Principal <i>building</i>:	
Maximum <i>building height</i>	12 m
Accessory <i>buildings</i>:	
Maximum <i>building height</i>	10 m
<i>Graduated height</i>	0.3 m for each additional 1.2 m in side and rear <i>setbacks</i>

Land Use Regulations:	
Minimum distance of a separate <i>dwelling</i> from the front of the principal commercial <i>building</i>	6 m
Minimum <i>setback</i> from <i>minor stream</i> for all <i>uses</i>	15 m
Minimum <i>setback</i> from <i>major stream</i> for all <i>uses</i>	30 m
Minimum <i>setback from the ocean</i> for all <i>uses</i>	7.5 m

4.50.5 Exceptions in Particular Locations

On those lands in Commercial 1 *zones* that are identified on the zoning maps by a letter in brackets, the following additional regulations apply:

Zone Variation – C1(a) (existing LUC)

This *zone* variation applies only to the property at 8551 and 8571 Bothwell Road, known as the Fish and Duck Pub and Marina, and is intended to reflect the terms of a land-use contract for a neighbourhood pub.

- 1) The *principal uses* are limited to the following:
 - i. Neighbourhood pub
 - ii. *Residential use*
- 2) *Accessory uses* are limited to the following:
 - i. *Accessory buildings and uses*
 - ii. Seasonal *cabin* rental

- iii. Sales of fishing gear and supplies
 - iv. *Houseboat* and waterski rental *office*
 - v. *Houseboat* maintenance
 - vi. Storage of equipment
 - vii. Boat fuel pumps
 - viii. Pump-and-haul facilities
- 3) The following additional condition of *use* apply:
- i. *Residential use* shall be limited to one *single-family dwelling* and one *secondary suite* attached to the pub for *caretaker use*.
 - ii. The number of seasonal *cabins* is limited to five.
- 4) The following *lot development* regulations apply:
- I. The maximum collective *retail commercial use floor area* is 186 square metres.

Zone Variation – C1(b) (existing LUC)

This *zone* variation applies only to Lot 11 and Remainder of Lot 12, District Lot 18, Alberni District, on the Alberni Highway at Athol Road and is intended to reflect the terms of a land-use contract that permits RU1, R1 and C1 *uses*.

- 1) Permitted *principal uses* are those permitted in the RU1, R1 and C1 *zones*.
- 2) Permitted *accessory uses* are those permitted in the RU1, R1 and C1 *zones*.
- 3) The following additional conditions of *use* apply:
 - i. *Uses* permitted in RU1 *zones* are restricted to those portions of the property adjoining Athol Road, except for area described in subsection ii below, and adjoining the Alberni Highway for a depth of 15 metres from the exterior *lot* lines and along the interior lot line for a distance of 22.86 metres from the eastern *side lot line* and a depth of 38.1 metres from the *front lot line* on the Alberni Highway.
 - ii. *Uses* permitted in R1 *zones* are restricted to an area of 1,137 square metres with 22.86 metres of *frontage* on Athol Road commencing 15.8 metres from the northern *lot* line of Lot 11 and continuing for a distance of 22.86 metres along Athol Road.
 - iii. *Uses* permitted in C1 *zones* are restricted to the interior and northeastern portions of the properties, outside the areas where RU1 and R1 *uses* are permitted.
 - iv. A continuous *screening* of a compact evergreen hedge not less than 1.8 metres in height shall be maintained along the northern *lot line* of Lot 11 and the eastern *lot lines* of Lot 11 and the Remainder of Lot 12 where C1 *uses* are permitted.

Zone Variation – C1(c) (existing ROC)

This *zone* variation applies only to Lot 7, District Lot 469, Clayoquot District, Plan 25529, on the Tofino-Ucluelet Highway at Lee Road and is intended to permit *office* and administration space for local enterprises.

- 1) Permitted *principal use* is limited to the following:
 - i. *office* facilities for enterprises and businesses principally conducted off-site
- 2) The following conditions of *use* apply:
 - i. *Accessory residential use* is limited to a *caretaker's residence*.
 - ii. Only one principal *building* is permitted and, for clarity, the *caretaker's residence* must be incorporated into this *building*.
 - iii. In this *zone*, "*office facilities*" means *office* space used for the conducting, managing and corporate administration of a business enterprise and not for conducting *retail* operations or storing *retail* components. The *office* facilities are permitted to operate between the hours of 9:00 a.m. and 7:00 p.m. daily.
 - iv. No *commercial vehicle*, truck, bus, contractors' equipment or any similar conveyance, equipment or craft may be parked or stored in the open.
- 3) The *lot development* regulations are varied as follows:

Lot Regulations:	
Minimum <i>lot area</i>	0.3 ha
Minimum <i>lot width</i>	37 m
Maximum <i>lot coverage</i>	5%

Construction Regulations:	
All buildings:	
Minimum <i>setback</i> from <i>minor stream</i>	15 m
Minimum <i>setback</i> from <i>major stream</i>	30 m
Minimum front <i>setback</i>	6 m
Minimum side <i>setback</i>	1 m
Minimum rear <i>setback</i>	6 m
Principal building:	
Maximum <i>building height</i>	12 m
Maximum <i>floor area</i>	297 m ²
Accessory buildings:	
Maximum <i>building height</i>	10 m

<i>Graduated height</i>	0.3 m for each additional 1.2 m in side and rear <i>setbacks</i>
Total maximum combined <i>floor area</i>	93 m ²

Land Use Regulations:	
Minimum distance between principal <i>building</i> and any accessory <i>buildings</i>	7 m
Minimum <i>setback</i> from <i>minor stream</i> for all <i>uses</i>	15 m
Minimum <i>setback</i> from <i>major stream</i> for all <i>uses</i>	30 m

4.51 Commercial 2 Zone (C2) (existing C6)

This *zone* is intended to provide for the *development of hotels, motels* and recreational rental accommodation facilities for *use* by vacationers, travelers and transient workers and for pedestrian-oriented commercial, *hotel* and *office uses*. The *zone* is not intended for full-time, year-round *residential use* except to support transient, temporary and tourist accommodation and commercial *uses*.

4.51.1 Permitted principal uses:

- 1) *Hotels*
- 2) *Motels*
- 3) *Clubs and/or lodges*

4.51.2 Permitted accessory uses:

- 1) *Residential use*
- 2) *Caretaker use*
- 3) *Accessory buildings and uses*
- 4) Restaurants, diners, cafés and other eating establishments
- 5) Gift stores
- 6) Health, fitness and/or spa facilities
- 7) Liquor stores

4.51.3 Conditions of use:

- 1) *Residential use* shall be completely separate from the commercial *use*, with the main access to the *dwelling* being entirely separate from the commercial *use*.
- 2) *Dwelling units* located about the first *storey* of a commercial *building* shall comply with the following requirements:

- i. The ground floor of the *building* shall be used only for commercial (what kind?) purposes.
 - ii. A completely separate public entrance to the *residential use* shall be provided from a ground-floor entrance that opens directly onto the *street*.
 - iii. All accommodation units shall be entirely self-contained.
 - iv. A maximum of one unit may have more than one bedroom.
 - v. Each unit shall be provided with a private balcony of minimum *floor area* of 4,645 square metres and minimum width of 1.5 metres opening off the living-room.
 - vi. One *off-street parking space* shall be provided for each unit, located so as not to impair or interfere with access to the commercial (retail?) premises or the *use* of *off-street* loading facilities.
- 3) All those portions of a *required front yard* not used for permitted parking shall be fully and suitably *landscaped* and properly maintained.
 - 4) Parking for any *dwelling unit* or *units* shall be located so that it does not impede access to the commercial premises or *use* of *off-street* loading facilities.
 - 5) Every business or undertaking shall be conducted within a completely enclosed *building* except for parking, loading and display facilities.

4.51.4 Lot development regulations:

Lot Regulations:	
Minimum <i>lot area</i>	0.24 ha
Minimum <i>lot area</i> with <i>communal</i> or <i>community water</i> and <i>sewer system</i> in Bamfield	0.1 ha
Minimum <i>lot width</i>	15 m or 60 m?
Maximum <i>lot coverage</i>	60%

Construction Regulations:	
All buildings:	
Maximum collective retail commercial use floor area	186 m ²
Minimum <i>setback</i> from <i>minor stream</i>	15 m
Minimum <i>setback</i> from <i>major stream</i>	30 m
Minimum <i>setback</i> from <i>the ocean</i>	7.5 m
Minimum front <i>setback</i>	6 m

Minimum side <i>setback</i>	1 m
Minimum rear <i>setback</i>	6 m
Principal <i>building</i>:	
Maximum <i>building height</i>	12 m
Accessory <i>buildings</i>:	
Maximum <i>building height</i>	10 m
<i>Graduated height</i>	0.3 m for each additional 1.2 m in side and rear <i>setbacks</i>

Land Use Regulations:	
Minimum distance between principal <i>building</i> and any accessory <i>buildings</i>	7 m
Maximum total number of commercial guest units	40
Maximum number of commercial guest units per hectare	20
Minimum <i>setback</i> from <i>minor stream</i> for all <i>uses</i>	15 m
Minimum <i>setback</i> from <i>major stream</i> for all <i>uses</i>	30 m
Minimum <i>setback</i> from the ocean for all <i>uses</i>	7.5 m

4.52 Commercial Recreation Zone (C3) (existing C7 and LOR)

This *zone* provides for low-intensity recreational uses which require large areas for *development* and only minor water supply and sewerage.

4.52.1 Permitted *principal uses*:

- 1) Archery ranges
- 2) *Drive-in* theatres
- 3) Facilities ancillary to canoeing, kayaking, cross-country skiing, hiking, hunting, and similar outdoor recreational activities
- 4) Golf course and clubhouse
- 5) Golf driving ranges
- 6) Gun clubs

- 7) Bowling greens, tennis courts and similar outdoor recreational uses
- 8) Race tracks (automobile, horse and go-cart) and grandstands
- 9) *Riding academy*
- 10) Zip-lines

4.52.2 Permitted accessory uses:

- 8) *Accessory buildings and uses*

4.52.3 Lot development regulations:

Lot Regulations:	
Minimum <i>lot area</i>	0.8 ha
Minimum <i>lot width</i>	200 m

Construction Regulations:	
All buildings:	
Minimum <i>setback</i> from <i>minor stream</i>	15 m
Minimum <i>setback</i> from <i>major stream</i>	30 m
Minimum <i>front setback</i>	6 m
Minimum <i>side setback</i>	1 m
Minimum <i>rear setback</i>	6 m
Principal building:	
Maximum <i>building height</i>	12 m
Accessory buildings:	
Maximum <i>building height</i>	10 m
<i>Graduated height</i>	0.3 m for each additional 1.2 m in side and rear <i>setbacks</i>

Land Use Regulations:	
Minimum distance between principal <i>building</i> and any accessory <i>buildings</i>	7 m

Minimum <i>setback</i> from <i>minor stream</i> for all <i>uses</i>	15 m
Minimum <i>setback</i> from <i>major stream</i> for all <i>uses</i>	30 m

4.53 Mixed-Use Zone (MU) (existing MAC, C8, C9)

This *zone* provides for *residential use* combined with *tourism development* that is primarily intended to provide temporary accommodation on a short-term basis to visitors.

4.53.1 Permitted *principal uses*:

- 1) *Residential use*
- 2) *Campground*

4.53.2 Permitted *accessory uses*:

- 1) *Cottages*
- 2) *Accessory buildings and uses*
- 3) “Common-use facilities”
- 4) One “accessory common building”
- 5) *Home occupation*
- 6) *Swimming pool*

4.53.3 *Conditions of use*:

- 1) *Lots* zoned MU in Bamfield are exempt from the minimum *lot area* regulation.
- 2) For clarity, a *cottage* is an *accessory use* and shall not be constructed unless the *principal use* of a *single-family dwelling* is established.
- 3) The use, design and operation of all *buildings*, facilities and services shall comply with the relevant provincial regulations.
- 4) *Cottages* shall not be constructed within the *required front, rear or side yard* of a *single-family dwelling*.
- 5) A “buffer area” shall be provided between all *buildings* and the *natural boundary* of any *stream* or water body.
- 6) Within the “buffer area”, only the following uses are permitted:
 - i. boat launch or amenity area
 - ii. access road
 - iii. hiking or jogging trails
 - iv. open space
 - v. a wall or *campground* identification sign not exceeding 1.5 square metres in area
 - vi. underground services
 - vii. vehicle parking

- viii. internal access *roads* that directly traverse the *setback* area to connect the internal access *road* system of the *campground* to a highway
- 7) “Common-use facilities” for the purposes of the MU *zone* means:
- i. *structures* required to contain fire, emergency or garbage-collection equipment;
 - ii. gazebos, barbecue and picnic shelters and pits;
 - iii. recreational facilities such as playing fields and tennis courts.
- 8) Accessory *buildings* and *uses* shall be limited to:
- i. parking of two vehicles for each *camping site*
 - ii. one *storage building* for grounds maintenance purposes
 - iii. boat launch
 - iv. *screened* compounds for the storage of *recreational vehicles*, boats or boat *trailers*
- 9) “Accessory common building” for the purposes of the MU *zone* means an ancillary *use* limited to:
- i. common meeting areas
 - ii. recreational areas
 - iii. *convenience store*
 - iv. laundromat and drying room
- 10) For clarity, an “accessory common *building*” shall not be used for the purpose of accommodation or human occupancy.
- 11) Within the MU *zone*, a *trailer* designed for human occupancy shall be considered a vehicle.
- 12) At least one of the two *parking spaces* for each *camping site* shall be conveniently located adjacent to the internal access *road* and may be sited within the 2-metre *setback* area.
- 13) No *recreational vehicle* or tent shall be located anywhere other than on a *camping site*.
- 14) Internal access *road* shall conform to the following standards:
- i. be constructed of hard durable surface so not to produce dust,
 - ii. be a minimum of 6.0 metres in width, and
 - iii. be looped or have a turning circle radius of 12.0 metres.
- 15) Sewage disposal shall be provided by a *community* or *communal sewer system* or a septic disposal system constructed to the standards of the relevant provincial regulations.
- 16) One sewage disposal station shall be provided for *use* by *recreational vehicles* and shall:
- i. be established in every *campground* that contains more than 30 *camping sites*,
 - ii. be located in an area apart from an internal access *road* and to allow easy and convenient access by *recreational vehicles* for the purpose of disposing of the contents of the vehicle’s sewage storage tanks, and
 - iii. be constructed in accordance with relevant provincial regulations.

- 17) Washroom facilities shall be provided within the *campground* and shall be located in a separate *building* or *buildings* except for the “accessory common *building*”.
- 18) A *campground* that contains more than 30 *camping sites* shall be serviced by a *community* or *communal water system* or a water-supply system built to the standards of the relevant provincial regulations and shall provide the following:
 - i. a minimum of 0.18 cubic metres per day of potable water per *camping site*,
 - ii. a water hookup for *recreational vehicles* in 20% of all *camping sites*.
- 19) Garbage disposal containers shall be provided, and each container shall be durable and insect-, rodent- and bear-proof.
- 20) If provision for temporary *recreational vehicle* and/or boat storage is made available, the maximum area that may be used for such storage is 5% of the *lot area*.
- 21) All compounds for the storage of *recreational vehicles* and boats or boat *trailers* shall be fenced, *screened* or bermed and gated appropriately.
- 22) Where a principal *building* is set back from the *required front yard*, parking may be provided in the *required front yard*, provided that the total *landscaped area* between the *front lot line* and the *front line of the building* is not less than that which otherwise would be required if parking were not permitted in the *front yard*.

4.534 Lot development regulations:

- 1) For residential and *cottage development*:

Lot Regulations:	
Minimum <i>lot area</i>	1 ha
Minimum <i>lot width</i>	100 m
Maximum <i>lot coverage</i>	75%

Construction Regulations:	
All buildings:	
Minimum <i>setback</i> from <i>minor stream</i>	15 m
Minimum <i>setback</i> from <i>major stream</i>	30 m
Minimum front <i>setback</i>	6 m
Minimum side <i>setback</i>	1 m
Minimum rear <i>setback</i>	6 m
Principal building:	

Maximum <i>building height</i>	12 m
Accessory buildings:	
Maximum <i>building height</i>	10 m
<i>Graduated height</i>	0.3 m for each additional 1.2 m in side and rear <i>setbacks</i>
Maximum <i>floor area</i> of a <i>storage building</i>	61 m ²
Maximum <i>building height</i> of a <i>storage building</i>	3.6 m
Maximum <i>floor area</i> of “ <i>accessory common building</i> ”	149 m ²
Maximum height of “ <i>accessory common building</i> ”	10 m
Maximum <i>floor area</i> of a <i>convenience store</i> in an “ <i>accessory common building</i> ”	22 m ²
Cottages:	
Minimum <i>setback</i> from all <i>lot lines</i>	10 m
Minimum <i>floor area</i>	46 m ²
Maximum <i>floor area</i>	74 m ²
Maximum <i>building height</i>	4.3 m

Land Use Regulations:	
Maximum density for <i>cottage use</i>	1 per 2000 m ² of <i>lot area</i>
Minimum “ <i>buffer area</i> ” (as described above in conditions of <i>use</i>)	20 m
Minimum distance between all <i>buildings</i> or <i>structures</i> other than “ <i>common-use facilities</i> ”	10 m
Minimum <i>setback</i> from <i>minor stream</i> for all <i>uses</i>	15 m
Minimum <i>setback</i> from <i>major stream</i> for all <i>uses</i>	30 m

2) For *campground development*:

Camping sites:	
Minimum area	55 m ²
Maximum slope	5%
Minimum <i>setback</i> from an internal access <i>road</i>	2.0 m
Minimum <i>setback</i> from all <i>lot</i> lines	10.0 metres

Land Use Regulations:	
Maximum density for <i>camping site use</i>	1 per 1000 m ² of <i>lot area</i> or 10 per ha
Maximum number of <i>camping sites</i>	100
Minimum distance between washroom facilities and any <i>camping site</i>	4.5 m
Maximum distance between washroom facilities and any <i>camping site</i>	150 m
Minimum <i>setback</i> from <i>minor stream</i> for all <i>uses</i>	15 m
Minimum <i>setback</i> from <i>major stream</i> for all <i>uses</i>	30 m

4.21.5 Exceptions in Particular Locations

On those lands in Mixed Use *zones* that are identified on the zoning maps by a letter in brackets, the following additional regulations apply:

Zone Variation – MU(a) (existing C8A zone)

This *zone* variation provides facilities to accommodate tourists and vacationers in tents and *recreational vehicles* in areas that are particularly located and suited to such *uses*.

- 1) The following additional conditions of *use* apply:
 - i. A *camping site* shall not be occupied by the same *recreational vehicle* for more than 180 days in any calendar year.
 - ii. No year-round or permanent occupation of a *camping site* is permitted.
 - iii. *Recreational vehicles* shall be located only on established *camping sites*.
 - iv. Where a *campground* is subdivided, the subdivision created shall contain no more than 26 *camping sites*, and each *camping site* shall be a minimum of 83.91 square metres in area.

- v. In the MU(a) *zone*, accessory *buildings* and *uses* includes *office* facilities, washroom and shower facilities, parking and play area, gazebos, picnic shelters, garbage containment, and boat *trailer* parking.

4.60 Light Industrial (I1) (existing M1)

This *zone* provides for the accommodation of industrial and business parks, light *manufacturing*, warehousing and wholesaling functions under *development* standards and conditions designed to minimize conflicts with surrounding *uses*.

4.60.1 Permitted *principal uses*:

- 1) The following production or *manufacturing* industries:
 - i. food and beverage industries, excluding the fish-products industry and meat and *poultry* products industries
 - ii. knitting mills, textile, leather, rubber and plastic products, tobacco products, and clothing industries
 - iii. furniture and fixture industries
 - iv. miscellaneous wood industries that entail *manufacturing* or finishing from prepared lumber
 - v. printing, publishing and allied industries
 - vi. machinery, electrical products, transportation equipment and metal fabricating industries, excluding boiler and plate works and the fabricated structural metal industry
 - vii. glass and glass products *manufacturing*
 - viii. miscellaneous *manufacturing* industries
- 2) *Offices*, *storage buildings* and workshops for the following construction industry enterprises:
 - i. *building* construction
 - ii. septic-tank construction (on site)
 - iii. special-trade contractors, excluding demolition, excavation and house-moving contractors
- 3) Wholesale trades, excluding wholesalers of lumber and *building* materials and wholesalers of scrap and waste materials
- 4) *Mini-storage* facilities
- 5) Other storage and warehousing
- 6) Electrical power, gas, water *utilities*, works yards and government agencies
- 7) *Cartage*, *delivery* and express facilities
- 8) *Retail* of automotive products, including *automobile* or *boat sales* or *rental*, but excluding sale of gasoline
- 9) Engineering, research and scientific service laboratories
- 10) Laundries, cleaners and pressers, excluding self-service
- 11) The following miscellaneous services:
 - i. welding shops

- ii. services to *buildings* and *dwellings*
- iii. machinery and equipment rental
- iv. *motor vehicle repair shops* including auto-body repair shops and auto-body spray-painting shops

On lots with a minimum lot area of 1.6 hectares:

12) *Medical marijuana facilities*

4.60.2 Permitted accessory uses:

- 1) Accessory *buildings* and *uses* including display, storage and *retail* sales of goods produced on the premises
- 2) Open storage
- 3) *Residential use*

4.60.3 Conditions of use:

- 1) All permitted *uses* shall be housed completed within an enclosed *building*, except for permitted outdoor display, rental, sales or *storage yards*, parking and loading facilities.
- 2) Nothing shall be done that is or will become an annoyance or nuisance to the surrounding areas by reason of unsightliness, the emission of odours, liquid effluents, dust, fumes, smoke, vibration, noise or glare; nor shall anything be done that creates or causes a health, fire or explosion hazard, electrical interference or undue traffic congestion.
- 3) Any part of a *lot* used or intended to be used as an outside *storage yard* shall be enclosed by *screening* on any side not facing directly upon the principal *building* on the *lot*, and no material shall be piled to extend above such *screening*. Required front *screening* shall be so situated as to conform to the *front yard setback* provisions.
- 4) All those portions of a *required front yard* not used for permitted parking or *display yard* shall be fully and suitably *landscaped* and properly maintained.
- 5) Where the *side lot line* abuts a *lot* in a Residential zone or is separated by a *street* or *a* therefrom, all those portions of a *required side yard* not used for permitted parking shall be full and suitably *landscaped* and properly maintained.
- 6) Where a principal *building* is set back from the *required front yard*, parking may be provided in the *required front yard*, provided that the total *landscaped* area between the *front lot line* and the *front line of the building* is not less than that which otherwise would be required if parking were not permitted in the *front yard*.

4.60.4 Lot development regulations:

Lot Regulations:	
Minimum <i>lot area</i>	0.24 ha

Minimum <i>lot width</i>	30 m
Maximum <i>lot coverage</i>	60%

Construction Regulations:	
All buildings:	
Minimum front <i>setback</i>	3 m
Minimum side <i>setback</i>	1 m
Minimum rear <i>setback</i>	3 m
Minimum <i>setback</i> from <i>minor stream</i>	15 m
Minimum <i>setback</i> from <i>major stream</i>	30 m
Principal buildings:	
Maximum <i>building height</i>	12 m
Accessory buildings:	
Maximum <i>building height</i>	10 m
<i>Graduated height</i>	0.3 m for each additional 1.2 m in side and rear <i>setbacks</i>
Medical marijuana facilities:	
Maximum <i>building height</i>	6 m
Minimum <i>setback</i> from all <i>lot</i> lines	30 m

Land Use Regulations:	
Minimum <i>setback</i> from <i>minor stream</i> for all uses	15 m
Minimum <i>setback</i> from <i>major stream</i> for all uses	30 m
Intensive agriculture:	
Minimum <i>setback</i> from a <i>dwelling</i> in a Residential zone	50 m
Minimum <i>setback</i> from a <i>stream</i> or water body	30 m

Minimum <i>setback</i> from a <i>road</i> and all <i>lot</i> lines	15 m
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4.60.5 Exceptions in Particular Locations

On those lands in Light Industrial *zones* that are identified on the zoning maps by a letter in brackets, the following additional regulations apply:

Zone Variation – I1(a) (existing M2 and M2A zones)

This *zone* variation provides for all *uses* permitted in the I1 *zone* as well as additional light industrial *uses*, including open storage as a *principal use*.

- 1) The following additional *principal uses* are permitted:
 - i. *Offices, storage buildings* and workshops for the construction industry not permitted in the I1 *zone*
 - ii. Wholesalers of lumber and *building* materials
 - iii. *Screening* and grinding of sand and gravel
 - iv. Open storage
 - v. Truck transport
 - vi. Commercial nurseries and greenhouses
 - vii. Ready-mix concrete production
- 2) As an additional condition of *use*, where a *lot* or any part thereof is used or intended to be used as an outside *storage yard*, that portion of the *storage yard* that fronts on or adjoins a *street*, a *lot* in a Residential *zone* or is separated by a *lane* therefrom shall be *screened*, and no material located within 15.39 metres of the *screening* shall be permitted to extend above the *screening*.

4.61 General Industrial Zone (I2) (existing SW1)

This *zone* provides for warehousing, enclosed storage and materials-handling operations.

4.61.1 Permitted *principal uses*:

- 1) Warehousing and closed storage
- 2) *Mini-storage* facilities

4.61.2 Permitted *accessory uses*:

- 1) *Accessory buildings* and *uses* including *office* facilities ancillary to the *principal use* and parking and loading facilities
- 2) *Residential use*

4.61.3 Conditions of *use*:

- 1) All permitted *uses* shall be housed completely within an enclosed *building* except for permitted parking and loading facilities.

- 2) *Landscaping* shall be provided along *lot* lines to acceptable standard for a minimum of 5.0 metres except for necessary vehicular access and egress.
- 3) Vehicular parking and loading facilities may be located within either front or *rear yard setbacks* but not within the specified minimum 5-metre landscape strip.
- 4) Parking may be provided in the *required front yard*, provided that a *landscaped* area of at least 5.0 metres is maintained between the *front lot line* and the *front line of the building*.

4.61.4 Lot development regulations:

Lot Regulations:	
Minimum <i>lot area</i>	0.24 ha
Minimum <i>lot width</i>	30 m
Maximum <i>lot coverage</i>	60%

Construction Regulations:	
All buildings:	
Minimum front <i>setback</i>	3 m
Minimum side <i>setback</i>	1 m
Minimum rear <i>setback</i>	3 m
Minimum <i>setback from minor stream</i>	15 m
Minimum <i>setback from major stream</i>	30 m
Principal buildings:	
Maximum <i>building height</i>	12 m
Accessory buildings:	
Maximum <i>building height</i>	10 m
<i>Graduated height</i>	0.3 m for each additional 1.2 m in side and rear <i>setbacks</i>

Land Use Regulations:

Minimum <i>setback</i> from <i>minor stream</i> for all uses	15 m
Minimum <i>setback</i> from <i>major stream</i> for all uses	30 m

4.62 Industrial Storage Zone (I3) (existing M4)

This *zone* variation provides for open and closed storage of industrial goods and materials handling operations.

4.62.1 Permitted *principal uses*:

- 1) Storage of log, lumber, chips, including facilities for the transfer of logs to and from the water
- 2) Dry-land sorting
- 3) Storage of ore, concentrates and refined products
- 4) Storage of gravel, sand and quarried material

4.62.2 Permitted *accessory uses*:

- 1) *Accessory buildings* and *uses* including *office* facilities ancillary to the *principal use* and parking and loading facilities
- 2) *Residential use*

4.62.3 *Conditions of use*:

- 1) Nothing shall be done that is or will become an annoyance or nuisance to the surrounding areas by reason of unsightliness, the emission of odours, liquid effluents, dust, fumes, smoke, vibration, noise or glare; nor shall anything be done that creates or causes a health, fire or explosion hazard, electrical interference or undue traffic congestion.
- 2) Where any *lot* or part thereof is used or intended to be used as an open *storage yard*, any portion of the *lot* fronting on or adjoining a *street*, a *lot* in a Residential or Rural *zone* or separated by a *lane* therefrom shall be not be used for the storage of materials for a distance of 15.24 metres from the property line.
- 3) Where a principal *building* is set back from the *required front yard*, parking may be provided in the *required front yard*, provided that the total *landscaped* area between the *front lot line* and the *front line of the building* is not less than that which otherwise would be required if parking were not permitted in the *front yard*.

4.62.4 *Lot development regulations*:

Lot Regulations:	
Minimum <i>lot area</i>	0.4 ha

Minimum <i>lot width</i>	30 m
Maximum <i>lot coverage</i>	60%

Construction Regulations:	
<i>Accessory buildings:</i>	
Maximum <i>building height</i>	10 m
<i>Graduated height</i>	0.3 m for each additional 1.2 m in side and rear <i>setbacks</i>
Minimum front <i>setback</i>	3 m
Minimum side <i>setback</i>	1 m
Minimum rear <i>setback</i>	3 m

Land Use Regulations:	
Minimum <i>setback</i> from <i>minor stream</i> for all uses	15 m
Minimum <i>setback</i> from <i>major stream</i> for all uses	30 m
<i>Principal use:</i>	
Minimum front <i>setback</i>	6 m
Minimum side <i>setback</i>	6 m
Minimum rear <i>setback</i>	6 m

4.62.5 Exceptions in Particular Locations

On those lands in Industrial Storage *zones* that are identified on the zoning maps by a letter in brackets, the following additional regulations apply:

Zone Variation – I3(a) (existing SW2)

This *zone* variation provides for open storage of industrial and non-industrial materials on smaller Industrial *lots*.

- 1) Permitted *principal uses* are limited to the following:
 - i. warehousing and closed storage

- ii. open storage of boats, trucks, *trailers*, campers and similar items
- 2) As an additional condition of *use*, any portion of the *lot* used or intended to be used for open storage and adjoining a *street*, a *lot* in a Residential or Rural *zone* or separated by a *lane* therefrom shall be *screened* to a minimum height of 2.0 metres.
- 3) The minimum *lot area* shall be 0.24 hectare.
- 4) The minimum *setback from the ocean* shall be 7.5 metres.

4.63 Heavy Industrial Zone (I4) (existing M3, M6, M7 and M8)

This *zone* provides for the accommodation of special types of industry and heavy industrial activities and *uses*, including resource extraction.

4.63.1 Permitted *principal uses*:

- 1) The following production or *manufacturing* industries:
 - i. food and beverage industries, excluding the fish-products industry and meat and *poultry* products industries
 - ii. knitting mills, textile, leather, rubber and plastic products, tobacco products, and clothing industries
 - iii. coffin and casket industry, wooden-box factories
 - iv. furniture and fixture industries
 - v. all wood industries
 - vi. paper, printing, publishing and allied industries
 - vii. machinery, electrical products, transportation equipment and metal fabricating industries, including boiler and plate works, foundries and the fabricated structural metal industry
 - viii. glass and glass products *manufacturing*
 - ix. fish products industries, meal and *poultry* products industries
 - x. primary metal industries
 - xi. all non-metallic mineral products industries
 - xii. petroleum and coal products industries
 - xiii. chemical and chemical products industries, provided that where explosives are *manufactured* or stored, outside-safety-distance regulations pursuant to the federal *Explosives Act* shall be observed as though a place of public *assembly* were located adjacent to all *lot* lines
 - xiv. miscellaneous *manufacturing* industries
- 2) Sand, gravel and other natural resource extraction and processing, including *screening*, crushing and grinding of sand and gravel, and similar operations
- 3) *Offices*, *storage buildings* and workshops for all construction industry activities
- 4) Other storage and warehousing, including open storage and *mini-storage*
- 5) One sawmill on permanent foundations or one portable sawmill
- 6) Wholesale trades, including wholesalers of lumber and *building* materials and wholesalers of scrap and waste materials
- 7) Truck transport
- 8) Commercial nurseries and greenhouses

- 9) Electrical power, gas, water *utilities*, works yards and government agencies
- 10) *Cartage, delivery* and express facilities
- 11) *Retail* of automotive products, including *automobile or boat sales or rental*, but excluding sale of gasoline
- 12) Engineering, research and scientific service laboratories
- 13) Laundries, cleaners and pressers, excluding self-service
- 14) The following miscellaneous services:
 - i. blacksmithing and welding shops
 - ii. services to *buildings* and *dwellings*
 - iii. machinery and equipment rental
 - iv. *motor vehicle repair shops* including auto-body repair shops and auto-body spray-painting shops

4.63.2 Permitted *accessory uses*:

- 1) *Accessory buildings* and *uses* including *office*, display, storage, workshop and *retail* sales of goods produced on the premises
- 2) *Residential use*

4.63.3 Conditions of use:

- 1) *Residential use* may be in a separate *building* or a *manufactured home*.
- 2) Nothing shall be done that is or will become an annoyance or nuisance to the surrounding areas by reason of unsightliness, the emission of odours, liquid effluents, dust, fumes, smoke, vibration, noise or glare; nor shall anything be done that creates or causes a health, fire or explosion hazard, electrical interference or undue traffic congestion.
- 3) Where any *lot* or part thereof is used or intended to be used as an open *storage yard*, any portion of the *lot* fronting on or adjoining a *street*, a *lot* in a Residential *zone* or separated by a *lane* therefrom shall be *screened*, and no material shall be located within 15.39 metres of the *screening* shall be piled to extend above the *screening*.
- 4) A buffer of a minimum 5.0 metres shall be maintained around all areas of excavation, with the exception of points of access and egress. Buffers shall be vegetated, planted and bermed where necessary to screen the site from *roads* and adjoining properties.
- 5) Where any *lot* or portion of a *lot* is used as an outside *storage yard* for metal materials in a location that is not serviced by storm sewers, provision shall be made for containment and treatment of run-off and approved by the Waste Management Branch of the provincial Ministry of Environment.
- 6) Nothing shall be done that is not in accordance with the provisions of the provincial *Health Act*.
- 7) Where a principal *building* is set back from the *required front yard*, parking may be provided in the *required front yard*, provided that the total *landscaped* area between the *front lot line* and the *front line of the building* is not less than that which otherwise would be required if parking were not permitted in the *front yard*.

4.63.4 Lot development regulations:

Lot Regulations:	
Minimum <i>lot area</i>	0.24 ha
Minimum <i>lot width</i>	30 m
Maximum <i>lot coverage</i>	60%

Construction Regulations:	
All buildings:	
Minimum front <i>setback</i>	3 m
Minimum side <i>setback</i>	1 m
Minimum rear <i>setback</i>	3 m
Minimum <i>setback from minor stream</i>	15 m
Minimum <i>setback from major stream</i>	30 m
Principal buildings:	
Maximum <i>building height</i>	12 m
Accessory buildings:	
Maximum <i>building height</i>	10 m
<i>Graduated height</i>	0.3 m for each additional 1.2 m in side and rear <i>setbacks</i>

Land Use Regulations:	
Minimum <i>setback from minor stream for all uses</i>	15 m
Minimum <i>setback from major stream for all uses</i>	30 m

4.64 Industrial Waste Zone (I5) (existing M5 and WD-2)

This *zone* provides for the storage of environmentally *hazardous materials* produced as by-products of industrial processes or used directly or indirectly in industrial processes off-site.

4.64.1 Permitted principal uses:

- 1) Storage of *hazardous* or noxious *materials* including, but not limited to PCB-contaminated oils or fluids, corrosive chemicals

On lots with a minimum lot area of 2.0 hectares, the following additional principal uses are permitted:

- 2) Sanitary landfill sites, industrial landfill sites, waste disposal grounds, *utility* storage and similar *uses*

4.64.2 Permitted accessory uses:

- 1) Facilities for a guard on-site
- 2) *Residential use*
- 3) *Accessory buildings and uses*

4.64.3 Conditions of use:

- 1) No outside storage of any *hazardous material* or any container or thing in which *hazardous materials* is contained shall be permitted.
- 2) A *hazardous materials* storage site shall be enclosed by a security fence not less than 2.4 metres in height and constructed of chain-link or similar material. The security fence shall contain one entrance only, fitted with a security gate of not less than 2.4 metres and also constructed of chain-link or similar material.
- 3) On any *hazardous materials* site, a graveled or paved area shall be located not less than 9.14 metres from all sides of the storage facility on site.
- 4) Construction of a *hazardous materials* storage facility shall include an impervious and sealed barrier constructed to such a height that it is capable of retaining 150% of the volume of material stored without external spillage occurring.
- 5) No *hazardous material* storage site shall be located within 1.5 kilometres of any Residential *zone*.
- 6) Any *building* in which *hazardous materials* are stored or contained shall be constructed of bullet-proof material.
- 7) Nothing shall be done in any part of this *zone* within 60 metres of any other *zone*, recreation area, highway or navigable waterway that is or will become a nuisance or reduce enjoyment of the use of the surrounding areas. The *use* and operation of the site and facility shall be conducted so that it will not cause or permit objectionable or dangerous conditions outside the property, including but not limited to noise, vibration, dust, fumes, glare, heat, humidity, odour, toxic or noxious emissions, fire or explosive hazard, smoke or other kinds of particulate matter.

- 8) Operation of a sanitary landfill, industrial landfill or waste disposal site or similar *use* shall also be subject to the operator holding a valid permit from the Waste Management Branch of the Ministry of Environment and/or any other authority having jurisdiction.
- 9) Where a principal *building* is set back from the *required front yard*, parking may be provided in the *required front yard*, provided that the total *landscaped area* between the *front lot line* and the *front line of the building* is not less than that which otherwise would be required if parking were not permitted in the *front yard*.

4.64.4 Lot development regulations:

Lot Regulations:	
Minimum <i>lot area</i>	0.24 ha
Minimum <i>lot width</i>	50 m
Maximum <i>lot coverage</i>	60%

Construction Regulations:	
All buildings or uses:	
Minimum front <i>setback</i>	3 m
Minimum side <i>setback</i>	1 m
Minimum rear <i>setback</i>	3 m
Minimum <i>setback</i> from <i>minor stream</i>	15 m
Minimum <i>setback</i> from <i>major stream</i>	30 m
Principal buildings:	
Maximum <i>building height</i>	12 m
Accessory buildings:	
Maximum <i>building height</i>	10 m
<i>Graduated height</i>	0.3 m for each additional 1.2 m in side and rear <i>setbacks</i>

Land Use Regulations:

Minimum <i>setback</i> from <i>minor stream</i> for all uses	15 m
Minimum <i>setback</i> from <i>major stream</i> for all uses	30 m

4.70 Parks and Recreation 1 Zone (P1) (new, some existing P2)

This *zone* provides for the establishment and maintenance of parks, green space, nature reserves, greenways and the preservation of environmentally-sensitive areas. Only passive recreational activities are permitted.

4.70.1 Permitted principal uses:

- 1) Parks
- 2) *Open space*
- 3) Natural areas
- 4) Nature interpretation facilities

4.70.2 Permitted accessory uses:

- 1) Trails
- 2) Picnic area
- 3) *Parking area*
- 4) Public toilet

4.71 Parks and Recreation 2 Zone (P2) (CW and some existing P2)

This *zone* provides for the maintenance of parks, green space, *campgrounds* and other low-impact recreational activities.

4.71.1 Permitted principal uses:

- 1) Parks
- 2) *Open space*
- 3) Natural areas

4.71.2 Permitted accessory uses:

- 1) Trails
- 2) Picnic area
- 3) *Parking area*
- 4) Public toilet
- 5) Playground
- 6) *Campground* including *wilderness campground*
- 7) Park administration *offices*

8) *Service buildings*

4.71.3 Conditions of use:

- 1) Neither the Regional District nor *utility* providers shall be expected or required to provide any public access, *utilities* or any other works or services to wilderness *campgrounds*.
- 2) Minimum servicing requirements do not apply to wilderness *campgrounds*.
- 3) The maximum density of wilderness *campgrounds* is 80 *camping sites* per hectare.

4.71.4 Lot development regulations:

Lot Regulations:	
Minimum <i>lot area</i>	0.24 ha
Minimum <i>lot width</i>	50 m
Maximum <i>lot coverage</i>	40%

Construction Regulations:	
<i>Accessory buildings:</i>	
Maximum <i>building height</i>	10 m
Minimum front <i>setback</i>	6 m
Minimum side <i>setback</i>	3 m
Minimum rear <i>setback</i>	6 m
Minimum <i>setback</i> from <i>minor stream</i>	15 m
Minimum <i>setback</i> from <i>major stream</i>	30 m
Minimum <i>setback from the ocean</i>	7.5 m

Land Use Regulations:	
Minimum <i>setback</i> from <i>minor stream</i> for all uses	15 m
Minimum <i>setback</i> from <i>major stream</i> for all uses	30 m
Minimum <i>setback from the ocean</i> for all uses	7.5 m

4.72 Community Service Zone (CS) (existing P1 and some P2)

This *zone* provides for the establishment and maintenance of community services, cultural, administrative, educational, recreational, institutional and civic *uses* and facilities that serve the community.

4.72.1 Permitted *principal uses*:

- 1) *Assembly*
- 2) Cultural facilities including art galleries, museums, cultural centres (art, drama and music), libraries, conservatories and music halls
- 3) Recreational facilities including armouries, auditoriums, gymnasiums, bowling greens, curling rinks, skating rinks, swimming pools and tennis courts
- 4) Community centres and meeting halls
- 5) Historic sites
- 6) Fairgrounds
- 7) The following health, welfare and *medical services*:
 - i. clinics operated by physicians in group practice
 - ii. diagnostic and therapeutic services
 - iii. miscellaneous health and *medical services*
 - iv. ambulance station
- 8) Hospital
- 9) *Community care facility*
- 10) Post *office*
- 11) Public administration *offices*
- 12) Parks and playgrounds
- 13) Educational institutions and establishments including *schools*, universities
- 14) Parking and boat mooring areas and facilities
- 15) Public services and *utilities* including electric power stations and installations, fire halls, police stations, pounds, sewage disposal facilities, telegraph and cable systems, telephone exchanges, *utility* storage, waste disposal, works yards and similar uses
- 16) *Campgrounds*

On lots with a minimum lot area of 0.11 hectare, the following additional *principal uses* are permitted:

- 17) Cemeteries and crematoria, provided that no part of any crematorium building shall be located less than 30 metres from any *street* or *lot* line
- 18) Children's institutions
- 19) *Community care facilities*
- 20) Institutions of a religious, fraternal, philanthropic or charitable nature including *places of worship, clubs and lodges*, church camps and retreats
- 21) Child and *family* daycare centres

4.72.2 Permitted accessory uses:

- 1) Accessory buildings and uses
- 2) Residential use

4.72.3 Conditions of use:

- 1) Residential use may be in the form of a *single-family dwelling* or a separate, self-contained *dwelling* within a *principal building*.
- 2) Where the *principal use* is a hospital, university or similar education establishment, additional *dwelling units* are permitted as an *accessory use* on the same *lot*.
- 3) Where the *principal use* is a children's institution, hospital, *school*, church camp, university or similar educational establishment, *dormitory units* or groups of *dormitory units* are permitted as an *accessory use* on the same *lot*.

4.72.4 Lot development regulations:

Lot Regulations:	
Minimum <i>lot area</i>	0.24 ha
Minimum <i>lot area</i> with <i>communal</i> or <i>community water</i> and <i>sewer system</i> in Bamfield	0.1 ha
Minimum <i>lot width</i>	15 m
Maximum <i>lot coverage</i>	40%

Construction Regulations:	
All buildings or uses:	
Maximum <i>building height</i>	10 m
Minimum front <i>setback</i>	6 m
Minimum side <i>setback</i>	3 m
Minimum rear <i>setback</i>	6 m
Minimum <i>setback</i> from <i>minor stream</i> for all uses	15 m
Minimum <i>setback</i> from <i>major stream</i> for all uses	30 m
Minimum <i>setback</i> from the ocean for all uses	7.5 m

4.73 Airport Zone (AP) (existing APAV1)

This *zone* provides for airport, airport-related and other compatible *uses*.

4.73.1 Permitted principal uses:

- 1) Airport base
- 2) Heliport
- 3) Airport service facilities
- 4) Passenger terminal
- 5) Aircraft fuel depot
- 6) Aircraft hangars
- 7) Aircraft servicing and maintenance
- 8) *Utilities* and communication facilities
- 9) Emergency services
- 10) Hospital, health facilities and *medical services*
- 11) Aviation training, trade *schools*, high *school* and biosphere-related *schools*
- 12) Scientific, electronic and technological research
- 13) Taxi dispatchers, bus depots
- 14) Aviation-related light industrial *uses*
- 15) National and Provincial Parks *offices* and support facilities
- 16) Department of National Defence *uses*
- 17) Meteorological station and metrological facilities
- 18) *Manufacturing, assembly, disassembly, processing or packaging of materials and goods*
- 19) Vehicle rental and ancillary servicing
- 20) Marine value-added facilities
- 21) Vehicle and equipment repairs and maintenance
- 22) *Offices*
- 23) Agriculture, market gardening, *community gardens*
- 24) Forestry and silviculture
- 25) Forestry value-added facilities
- 26) Golf course and clubhouse
- 27) Camping and parking for *recreational vehicles*
- 28) Arena, swimming pool, curling rink
- 29) Vegetative-waste (brush, etc.) composting site
- 30) Natural resource extraction

4.73.2 Permitted accessory uses:

- 1) Aircraft sales
- 2) *Storage yard*, cold storage, warehousing
- 3) *Hotel, motel*
- 4) Conference centre
- 5) *Residential use*, including staff rental housing
- 6) Caretaker accommodation

- 7) Restaurants, cafés and pubs
- 8) *Retail* store not exceeding 125 square metres
- 9) Commercial laundry
- 10) Recycling facilities
- 11) Seasonal exhibition *use*
- 12) Surfboard and/or bicycle rentals, sales and repairs
- 13) Museum

4.73.3 Conditions of use:

- 1) Yard and lease area *setback* requirements shall be in accordance with Transport Canada Airport (TCA) Regulations and spatial separation requirements of the BC Building Code.
- 2) All *development* must be in conformance with the requirements of the airport operations manual or, in the absence of an operations manual, with Transport Canada’s publication TP312, *Aerodromes Standards and Recommended Practices*.
- 3) All *development* must be planned, designed and constructed to avoid creating a hazard to flights, such as attracting birds, rodents or other animals to the property.
- 4) All illuminated storage and *parking areas* must have lighting placed in such a manner that all direct rays of light are limited to the storage or *parking areas* by using full cut-off lighting fixtures which reduce the amount of light escaping above the plane of horizontal or similar lights that achieve the same result in order to reduce light pollution.

4.73.4 Lot development regulations:

Lot Regulations:	
Minimum <i>lot area</i> for leasehold <i>lot</i>	500 m ²
Maximum <i>lot coverage</i>	65%

Construction Regulations:	
All buildings:	
Maximum <i>building height</i>	TCA Regulations
Minimum <i>setback</i> from Pacific Rim Park Reserve boundary	30 m
Minimum <i>setback</i> from Pacific Rim Highway	60 m
Minimum <i>setback</i> from a runway or taxiway	TCA Regulations

Minimum front <i>setback</i> from leasehold <i>lot</i> line	15 m
Minimum side <i>setback</i> from leasehold <i>lot</i> line	15 m
Minimum rear <i>setback</i> from leasehold <i>lot</i> line	15 m
Minimum <i>setback</i> from any internal leasehold <i>lot</i> line	3 m
Minimum <i>setback</i> from another <i>building</i>	5 m
Minimum <i>setback</i> from the top of bank of a ravine	30 m without an environmental assessment
Minimum <i>setback</i> from <i>minor stream</i>	15 m
Minimum <i>setback</i> from <i>major stream</i>	30 m

Land Use Regulations:	
Minimum <i>setback</i> from <i>minor stream</i> for all <i>uses</i>	15 m
Minimum <i>setback</i> from <i>major stream</i> for all <i>uses</i>	30 m

4.73.5 Exceptions in Particular Locations

On those lands in Airport *zones* that are identified on the zoning maps by a letter in brackets, the following additional regulations apply:

Zone Variation – AP(a) (existing APAV2)

This *zone* variation is intended for less intensive *uses*.

- 1) Permitted *uses* are limited to the following:
 - i. Passive recreation such as walking trails
 - ii. Agriculture
 - iii. Forestry, silviculture
 - iv. Transportation of natural resources
 - v. Water runway

4.80 Water 1 Zone (W1) (existing WF1)

This *zone* applies to water and provides for water-based recreational activities, navigation, shipping, open water and *foreshore uses* accessory to adjoining *upland residential uses*.

4.80.1 Permitted principal uses:

- 1) *Marine transportation* and shipping
- 2) Boat, vessel or watercraft and float-plane navigation
- 3) Navigational aids
- 4) *Water recreation use*
- 5) Float plane moorage, taxiing, take-off and landing
- 6) Water-bomber moorage, taxiing, take-off and landing
- 7) *Floating boat shelters*
- 8) Pumping stations, pressure-reducing stations and similar uses
- 9) Activities ordinarily incidental to fisheries management and environmental protection

4.80.2 Permitted accessory uses:

- 1) Accessory riparian use
- 2) Dock facilities accessory to permitted *principal uses*

4.80.3 Conditions of use:

- 1) Permanent or seasonal *residential use* and transient commercial overnight moorage or accommodation on a vessel, watercraft, *float home* or *houseboat* is not permitted within this zone.

4.80.4 Lot development regulations:

Maximum height above the surface of the water for any structure including <i>floating boat shelter</i>	3.7 m
Maximum length of any structure including <i>floating boat shelter</i>	7.6 m
Maximum area of pump stations, pressure-reducing stations and similar uses	0.2 ha

4.80.5 Exceptions in Particular Locations

On those lands in Water 1 zones that are identified on the zoning maps by a letter in brackets, the following additional regulations apply:

Zone Variation – W1(a) (existing WF2)

This zone variation provides for a wide range of water-based and recreational activities, *foreshore accessory uses* and overnight accommodation on the water.

- 1) Seasonal *residential use* or transient commercial overnight accommodation on a boat, vessel, *float home* or similar craft is a permitted use.

- 2) As a condition of *use* in this *zone* variation, commercial accommodation on a boat, vessel or watercraft shall be limited to a maximum of 7 consecutive days per individual or group.

4.81 Water 2 Zone (W2) (existing A4)

This *zone* applies to water and provides for resource-based activities.

4.81.1 Permitted principal uses:

- 1) *Marine transportation* and shipping
- 2) Boat, vessel or watercraft and float-plane navigation
- 3) Navigational aids
- 4) Transportation and storage of forest resources, including log booming, dumping and storage grounds
- 5) Water resource development including intake, storage and transmission conduits and hydro-electric works
- 6) Foreshore and water-based aquaculture including hatchery and nursery facilities, group-out ponds and pens
- 7) *Water recreation use*
- 8) Boat, vessel or watercraft moorage
- 9) Float-plane moorage, taxiing, take-off and landing
- 10) Water-bomber moorage, taxiing, take-off and landing
- 11) Pumping stations, pressure-reducing stations and similar *uses*
- 12) Fishing
- 13) Activities ordinarily incidental to fisheries management and environmental protection
- 14) *Floating boat shelters*

4.81.2 Conditions of use:

- 1) Nothing shall be done within 60 metres of any other *zone*, recreation area, roadway or navigable waterway that is or could become an annoyance or nuisance or reduce the enjoyment of the use of the surrounding land, such as unsightliness, the emission of odours, dust, liquid effluent, fumes, smoke, vibration, noise or glare, to residents or visitors to the surrounding area. In addition, nothing shall be done that creates or causes a health, fire or explosion hazard, electrical interference or undue traffic congestion.
- 2) Rights-of-way, licences of occupation or leases created for *uses* permitted in this *zone* are exempt from the minimum *lot area* and minimum *lot width* regulations.
- 3) Permitted *foreshore* and water-based *aquaculture* shall be exempt from the *lot development* regulations listed above.
- 4) Permitted log booming, dumping and storage grounds shall be exempt from the *lot development* regulations listed above.

4.81.3 Lot development regulations:

Maximum height above the surface of any <i>structure</i> including <i>floating boat shelter</i>	3.7 m
Maximum length of any <i>structure</i> including <i>floating boat shelter</i>	7.6 m
Maximum area of pump stations, pressure-reducing stations and similar uses	0.2 ha

4.82 Water Conservation Zone (W3) (existing W1)

This *zone* applies to both water and sensitive wetland areas and provides for the protection and conservation of those portions of sea coast, lake shore and river or creek banks that are considered to be best retained in or close to their natural state. It is intended to protect aquatic lands and *foreshore* lands covered by water, either tidal or non-tidal, by limiting *uses* legally permitted within or on the lands and related to or on the water surface.

4.82.1 Permitted *principal uses*:

- 1) Parks, playgrounds, *campgrounds* and recreational facilities operated by local government or similar agency
- 2) Yards accessory to *upland residential use*
- 3) Passive and amenity *open space* and *landscaping*

Within intertidal areas, the following additional *principal uses* are permitted:

- 4) Navigational aids
- 5) Fisheries management and environmental protection activities
- 6) *Marine transportation* and *water recreation uses*

4.82.2 Permitted *accessory uses* within intertidal areas:

- 1) Riparian *uses* including private dock or wharf facilities that are accessory to *upland residential use*

4.82.4 Conditions of *use*:

- 1) Any camping *use* permitted within this *zone* shall be limited to a maximum of five consecutive days per individual or per group in a tent, *trailer*, camper or *recreational vehicle*.

4.83 Water Commercial Zone (W4) (existing W4)

This *zone* applies to water areas generally adjacent to *upland* commercial activities. It provides for the accommodation of a broad range of commercial enterprises oriented to water *uses* and water traffic, including government and public docks and wharves.

4.83.1 Permitted principal uses:

- 1) *Marine transportation* and shipping
- 2) Boat, vessel or watercraft and float-plane navigation
- 3) Boat rental operations including temporary boat storage and *floating boat shelters*
- 4) Restaurants, diners, cafés and other eating establishments, excluding *drive-in* business
- 5) Commercial mooring facilities or marinas
- 6) Docks, wharves and floats for the *use* of water-taxis, ferries, float planes and amphibious vessels
- 7) Marine fueling operations, provided that these shall be located at least 60 metres from any residence or from any Residential or Waterfront Residential *zone*
- 8) Marine-oriented *clubs* such as yacht *clubs*
- 9) *Retail* sale of live or fresh fish including shellfish
- 10) *Retail* sale of fishing supplies, live or fresh bait and other marine equipment
- 11) Floats and wharves necessary for practical access by boats to commercial enterprises primarily oriented to water *uses* and water traffic
- 12) Floating fishing *lodge* and facilities including general store
- 13) Temporary or *seasonal dwelling* on a boat or vessel for commercial fishing purposes, provided that the vessel is docked at a location where the following on-shore facilities are provided as a minimum in separate rooms: one urinal and one water-closet, two washbasins and one bathtub or shower

4.83.2 Permitted accessory uses:

- 1) Dredging operations necessary for the construction or maintenance of *principal uses*
- 2) Permanent residence on one boat or vessel for purposes of security and fire protection

4.83.3 Conditions of use:

- 1) A lease or licence of occupation for all *structures* and floats shall be obtained from or approved by the appropriate provincial or other regulatory agency.
- 2) *Retail* activities permitted in this *zone* shall take place primarily within a *building* or *structure*.
- 3) No boat-building or commercial repair business shall be conducted in this *zone*.
- 4) No boathouses or boat shelters other than *floating boat shelters* shall be located in this *zone*.
- 5) *Floating boat shelters* shall comply with all provisions of this section and shall also conform to the following regulations:

- i. Where more than one floating boat shelter is permitted, all *floating boat shelters* shall be planned, erected and constructed in groups of not less than 3 and not more than 8 together.
 - ii. The component units of each group of *floating boat shelters* shall be of a uniform length and height.
- 6) All *floating boat shelters* shall be of permanent construction.

4.83.4 Lot Development regulations:

Maximum height of a <i>building</i> or <i>structure</i>	9 m
Minimum <i>setback</i> from boundaries of a waterlot, lease or licence area for all <i>structures</i> and floats	3 m
Maximum height of <i>floating boat shelters</i> above the surface of the water	3.7 m
Maximum length of <i>floating boat shelters</i>	14 m
Minimum distance between groups of <i>floating boat shelters</i> where there are 9 or more <i>floating boat shelters</i> in line with each other	24 m

4.83.5 Exceptions in Particular Locations

On those lands in Water 4 *zones* that are identified on the zoning maps by a letter in brackets, the following additional regulations apply:

Zone Variation – W4(a) (existing MAR1 – Fish & Duck)

This *zone* variation applies only to water and *foreshore* areas adjacent to the property at 8551 and 8571 Bothwell Road.

- 1) Permitted *uses* in this *zone* are limited to the following:
 - i. *Marina use*
 - ii. *Houseboat* moorage
 - iii. Boat fueling facilities
 - iv. Pump-and-haul facilities
- 2) The following conditions of *use* apply:
 - i. Marine fueling operations shall be located at least 3 metres from any residence or from any Rural, Residential, Community Service, or Park and Recreation *zone*.
 - ii. Pump-out facilities for sewage disposal shall be located at least 10 metres from any residence or from any Residential *zone*.
 - iii. One berth is considered to be equivalent to 7.6 metres of linear dock space.
- 3) *Lot development* regulations are varied as follows:

Maximum height of a <i>building or structure</i>	3.7 m
Maximum height of <i>floating boat shelters</i> above the surface of the water	3.7 m
Maximum length of <i>floating boat shelters</i>	7.6 m

Zone Variation – W4(b) (existing MAR2 – Lakeshore Marina)

This *zone* variation applies only to water and *foreshore* areas adjacent to the property at Lakeshore Road and Aldan Road.

- 1) *uses* in this *zone* are limited to the following:
 - i. *Marina use*
 - ii. Boat fueling facilities
 - iii. Pump-and-haul facilities
- 2) The following conditions of *use* apply:
 - iv. Marine fueling operations shall be located at least 60.96 metres from any residence or from any Rural, Residential, Community Service, Park and Recreation or *houseboat or float home zone* [W2(a) Zone Variation].
 - v. Pump-out facilities for sewage disposal shall be located at least 30.48 metres from any residence or from any Residential *zone*.
 - vi. One berth is considered to be equivalent to 7.62 metres of linear dock space.
- 3) *Lot development* regulations are varied as follows:

Maximum height of a <i>building or structure</i>	3.7 m
Maximum height of <i>floating boat shelters</i> above the surface of the water	3.7 m
Maximum length of <i>floating boat shelters</i>	7.6 m
Maximum collective <i>retail commercial use floor area</i>	186 m ²

4.84 Water Industrial Zone (W5) (existing W5)

This *zone* applies to both water and land and provides for the accommodation of industries that are related to the fishing industry, *marine transportation*, ship-building and maintenance.

4.84.1 Permitted *principal uses*:

- 1) *Marine transportation*, shipping and fueling
- 2) Boat, vessel or watercraft and float plane navigation

- 3) Commercial mooring facilities
- 4) Repair and maintenance shops oriented to marine *use* and water traffic
- 5) Ship-building, boat-building and repair
- 6) Warehouses, works yards, storage and loading facilities oriented to marine *use* and water traffic
- 7) Fish products industry, except reduction, oil extracting or the processing or storage of offal
- 8) Docks, wharves and floats for the *use* of water taxis, ferries, float planes and amphibious vessels (from existing W6 district)
- 9) Log booming and sorting including dry-land sorting

4.84.2 Conditions of *use*:

- 1) Nothing shall be done that is or will become an annoyance or nuisance to the surrounding areas by reason of unsightliness, the emission of odours, liquid effluents, dust, fumes, smoke, vibration, noise or glare; nor shall anything be done that creates or causes a health, fire or explosion hazard, electrical interference or undue traffic congestion.

4.84.3 Lot *development* regulations:

Maximum height of a <i>building</i> or <i>structure</i>	12 m
Minimum <i>setback</i> from boundaries of a waterlot, lease or licence area for all <i>structures</i> and floats	3 m

4.90 Comprehensive Development 1 Zone (CD1)

This *zone* provides for a mix of land *uses* including residential with various types and tenures, commercial and recreational *use*. Much of the natural setting will be incorporated into the *development* taking place. The *zone* will be developed as sub-zones CD1A, CD1B and CD1C.

4.90.1 Overall maximum density permitted:

- 1) As determined by sewage disposal and potable water supply limitations, the maximum density permitted shall not exceed 8 units of either *dwelling units* or units for other accommodations per hectare of total land area being developed above the surface of the water. For purposes of this section, the following shall be equivalent to one *dwelling unit*:
 - i. 2 *sleeping units* in a *lodge* or *guesthouse*,
 - ii. 6 *camping sites*, or
 - iii. *recreational vehicle use spaces* in a *campground*

4.90.2 Definitions specific to the CD1 *zone*:

COTTAGE means a *dwelling* or two *dwelling units* built upon a continuous foundation. The maximum *floor area* of each *cottage dwelling unit* is 150 square metres and the minimum *floor area* is 50 square metres.

4.90.3 Application to strata plan developments:

- 1) For greater clarity, a *lot* within the CD1 zone includes a strata plan.

4.90.4 **Fishing lodge and associated cottages sub-zone (CD1A):**

This sub-zone is designed for tourists and recreation seekers interested in fishing and convenient access to the *waterfront*. Main *uses* include a central *lodge* and associated *cottage* facilities. This area is intended for *seasonal dwellings* designed to accommodate vacationing families, groups and fishermen along with some supporting commercial or recreational *uses* for those maintaining permanent residence elsewhere.

1) Permitted principal uses:

- i. *Residential use*
- ii. *Guesthouse*
- iii. *Restaurant*, which includes instructional facilities, having a *floor area* not greater than 4,000 square metres
- iv. *Motel* and *motor hotel*, having a *floor area* of not greater than 2,000 square metres
- v. *Project sales office*
- vi. *Tourist guide service*
- vii. *Marina use*
- viii. *Campground* containing not more than 40 *camping sites*
- ix. *Parks and playgrounds*
- x. *Marine and recreational vehicle* repair
- xi. *Recreation equipment sales*
- xii. *Boat launch facilities*

2) Permitted accessory uses:

- i. *Daycare or nursery* accessory to a residence
- ii. *Parking areas*
- iii. *Accessory buildings and uses*
- iv. *Retail use for the sale of general merchandise and liquor*
- v. *Storage building*
- vi. *Fuel dock*

3) Conditions of use:

- i. *Residential use* in this sub-zone may take the form of *single- or two-family dwellings, cottages, modular homes or manufactured homes*.
- ii. There shall be no more than 2 *campgrounds* and no more than 1 *motel* or *motor hotel* in the CD1A sub-zone.

4) Lot development regulations:

Minimum <i>lot area</i> for <i>single-family dwelling</i>	400 m ²
Minimum <i>lot area</i> for <i>two-family dwelling</i>	650 m ²
Minimum <i>lot area</i> for <i>campground</i>	1.0 ha
Minimum <i>lot area</i> for <i>other uses</i>	400 m ²
Maximum <i>lot coverage</i> for <i>restaurant, general merchandise store or liquor store</i>	35%
Maximum <i>lot coverage</i> for all other <i>buildings or structures</i> except for <i>campgrounds</i> , where <i>lot coverage</i> does not apply	35%
Maximum <i>floor area ratio</i> for all of area CD1A except for <i>campgrounds</i> , where <i>floor area ratios</i> do not apply	0.1
Maximum <i>floor area ratio</i> for <i>cottage lots</i>	0.45
Minimum front <i>setback</i> from any property line that abuts a <i>street</i>	5 m
Minimum rear <i>setback</i> for <i>principal buildings</i>	4 m
Minimum rear <i>setback</i> for <i>accessory buildings</i>	1 m
Minimum side <i>setback</i> from an <i>interior lot line</i> for <i>principal buildings</i> , provided the total of both <i>side yards</i> is not less than 4.5 metres	1.5 m
Minimum side <i>setback</i> for <i>accessory buildings</i>	1 m
Minimum setback from <i>natural boundary</i> of a water body, if the <i>use</i> has a water orientation and the <i>development</i> proposed is supported by an environmental impact study	0 m
Minimum setback from <i>natural boundary</i> of a water body where not supported by an impact study	15 m
Maximum <i>height</i> of <i>accessory buildings</i>	12.5 m
Maximum height of <i>single- or two-family dwellings and cottages</i>	5 m

4.90.5 **Marine centre sub-zone (CD1B):**

This sub-zone provides for *uses* that serve as resort area community centre, providing a range of day-to-day services for those on retreats or vacations. This sub-zone provides convenient access to the *waterfront*.

1) Permitted principal uses:

- i. *Marina use*
- ii. Food stores that may contain *dwelling units* above the main floor, where a maximum of one *dwelling unit* may be used as a year-around residence
- iii. General merchandise *buildings* that may contain *dwelling units* above the main floor, where a maximum of one *dwelling unit* may be used as a year-around residence
- iv. Dry-cleaners and self-service laundries
- v. Restaurants and the like, but excluding establishments primarily engaged in preparing food specialties for off-premises consumption and excluding *drive-in* business
- vi. Tourist guide centres
- vii. Liquor stores
- viii. Gasoline service station
- ix. Resort *offices*
- x. Interpretation centre
- xi. *Float homes* to a maximum of 24, where a sewage dump is provided
- xii. Boat launch facilities
- xiii. Parks and playgrounds
- xiv. Conference centre

2) Permitted accessory uses:

- i. *Storage buildings*
- ii. *Parking areas*
- iii. *Accessory buildings and uses*

3) Lot development regulations:

Minimum <i>lot area</i> for a <i>float home</i>	100 m ²
Minimum <i>lot area</i> for other <i>uses</i>	650 m ²
Maximum <i>lot coverage</i>	35%
Maximum <i>floor area ratio</i> for all of area CD1B	0.45
Minimum front <i>setback</i>	5 m
Minimum rear <i>setback</i>	4 m

Minimum side <i>setback</i> from an <i>interior lot</i> line, provided the total of both <i>side yards</i> is not less than 4.5 metres	1.5 m
Minimum setback from <i>natural boundary</i> of a water body, if the <i>use</i> has a water orientation and the <i>development</i> proposed is supported by an environmental impact study	0 m
Minimum <i>setback</i> from <i>natural boundary</i> of a water body where not supported by an impact study	15 m
Maximum <i>height of buildings</i>	12.5 m
Maximum height above the surface of the water for <i>float homes</i>	8 m

4.90.6 **Residential resort neighbourhood sub-zone (CD1C):**

This sub-zone provides for accommodations in an aesthetic neighbourhood-like setting with convenient access to the *waterfront*. *Dwelling units* are primarily intended for seasonal or temporary occupation.

1) Permitted *principal uses*:

- i. *Residential use*
- ii. Community centre *building*
- iii. Parks and playgrounds

2) Permitted *accessory uses*:

- i. Daycare or nursery accessory to a residence or community centre
- ii. *Parking areas*
- iii. *Accessory buildings and uses*

3) Conditions of *use*:

- i. *Residential use in this sub-zone may take the form of single-family dwellings, two-family dwellings or multiple-family dwellings.*
- ii. Parking must be provided on the same *lot* on which the *use* that generates the parking is carried on.
- iii. The *Regional Board* may consider a variance to the requirement of providing parking on the same *lot* where the owner can provide the required *parking spaces* on another *lot* (the second *lot*) if the *parking spaces* are located within 150 metres of the nearest point of the *building or structure* in which the *use* occurs and if such parking is secured by a covenant under Section 219 of the *Land Title Act* in favour of the Regional District, reserving the *use* of an area on the second *lot* separately from the land on which the *use* that generates the parking is carried on.

4) Lot development regulations:

Minimum <i>lot area</i> for <i>single-family dwelling</i>	400 m ²
Minimum <i>lot area</i> for <i>two-family dwelling</i>	550 m ²
Minimum <i>lot area</i> for <i>multiple-family dwelling</i>	900 m ²
Minimum <i>lot area</i> for community centre	100 m ²
Maximum <i>lot coverage</i> for <i>single-family dwelling</i>	35%
Maximum <i>lot coverage</i> for <i>two-family dwelling</i>	35%
Maximum <i>lot coverage</i> for <i>multiple-family dwelling</i>	35%
Maximum <i>lot coverage</i> for community centre	35%
Maximum <i>floor area ratio</i> for <i>single-family dwelling</i>	0.4
Maximum <i>floor area ratio</i> for <i>two-family dwelling</i>	0.45
Maximum <i>floor area ratio</i> for <i>multiple-family dwelling</i>	0.5
Minimum front <i>setback</i> from a property line that abuts a <i>street</i>	5 m
Minimum front <i>setback</i> from a property line that abuts a <i>street</i> for a <i>garage</i> and those portions of a <i>building</i> or <i>structure</i> that exceed a height of 4.9 metres from grade	5 m
Minimum rear <i>setback</i> for all <i>principal uses</i>	4 m
Minimum rear <i>setback</i> for <i>accessory buildings</i>	1 m
Minimum <i>side setback</i> for <i>single-</i> and <i>two-family dwellings</i> , provided the total of both <i>side yards</i> is not less than 4.5 metres	1.5 m
Minimum <i>side setback</i> for <i>accessory buildings</i>	1 m
Minimum <i>setback</i> for <i>multiple-family dwellings</i>	0 m
Minimum <i>setback</i> for community centre	1.5 m
Minimum <i>setback</i> from <i>natural boundary</i> of a water body, if the <i>use</i> has a water orientation and the <i>development</i>	0 m

proposed is supported by an environmental impact study	
Minimum <i>setback</i> from <i>natural boundary</i> of a water body where not supported by an impact study	15 m
Maximum height of <i>single-</i> and <i>two-family dwellings</i>	5 m
Maximum height of <i>cottages or cabins</i>	8 m
Maximum height of <i>multiple-family dwellings</i>	12.5 m

4.91 Country Residential Comprehensive Development 1 Zone (CRCD1)

This *zone* provides for lower-density *development* in a less-accessible location intended to provide for a mix of land *uses* including residential, tourist commercial and recreational *uses* without the provision of water, sewer, sewage disposal, drainage or fire protection services by the Regional District. The natural setting and environmental features will be incorporated into the *development* through *density averaging*, *density averaging* and *clustering*. The *zone* will be divided into sub-*zones*.

4.91.1 Definitions specific to the CRCD1 *zone*:

AMENITIES means the following:

- 1) 2,000 metres of low-impact public trail up to one (1) metre in width, to be surfaced with gravel or bark mulch and to be located substantially as show on Schedule A to the *Development Agreement* between the owner and the Regional District???
- 2) dedication of 5% of public-*use* lands in excess of the park land provision requirements of section 941 of the *Local Government Act* or protection by restrictive covenant registered under section 219 of the *Land Title Act* in favour of the Regional District as Covenantee; and
- 3) at least eight (8) locations providing ocean access, to be provided by way of dedicated highway or statutory right-of-way for public access and *use*, granted in favour of the Regional District.

LODGE means a tourist establishment that contains four or more suites served by a common entrance and that may have additional separate entrances directly from outside the *building*.

RESIDENTIAL UNIT means a *single-family dwelling*

RESIDENTIAL means the following:

UNIT

- EQUIVALENT**
- 1) four (4) *cabins*,
 - 2) eight (8) bedrooms in a *lodge*, or
 - 3) six (6) *recreational vehicle camping sites*

4.91.2 Permitted principal uses:

- 1) *Residential use*
- 2) *Cabins*
- 3) *Lodges*
- 4) *One recreational vehicle campground*
- 5) *Open space uses*

4.91.3 Permitted accessory uses:

- 1) Accessory or service *buildings* and *uses* including staff accommodations
- 2) Dining facilities
- 3) Recreational facilities for *use* by guests

4.91.4 Conditions of use:

- 1) *Cabins* shall be built upon a continuous or permanent foundation.
- 2) *Cabins* may be occupied only as a secondary, vacation or recreational home.
- 3) For the purposes of calculating permitted overall density, 70% of the *residential unit equivalent* is to be comprised of *single-family dwellings*.
- 4) If the owner of the land provides and maintains the *amenities* as defined in subsection 4.91.1, the number of units in Table 1 may be developed.
- 5) For certainty, the Regional District has no plans to construct, install, operate or maintain sewer, sewage disposal, water supply, drainage or fire protection to service the lands in this *zone*.

4.91.5 Lot development regulations:

Lot Regulations:	
Minimum <i>lot area</i> for <i>lots</i> not serviced by <i>communal water system</i> and <i>communal sewer system</i>	2 ha
Minimum <i>lot area</i> for <i>lots</i> serviced by <i>communal water system</i> and <i>communal sewer system</i>	0.4 ha
Minimum <i>recreational vehicle site area</i> for sites serviced by <i>communal water system</i> and <i>communal sewer system</i>	500 m ²
Minimum <i>lot area</i> for <i>cabins</i>	2 ha

Construction Regulations:	
All buildings:	
Minimum <i>setback</i> from <i>natural boundary</i>	30 m
Minimum <i>setback</i> from another <i>building</i>	5 m
Minimum <i>setback</i> from all <i>lot</i> or <i>strata lot</i> lines	5 m
Single-family dwellings:	
Maximum <i>building height</i>	9 m
Maximum total <i>floor area</i>	279 m ²
Minimum <i>floor area</i>	65 m ²
Minimum width	5 m
Cabins:	
Maximum <i>building height</i>	9 m
Maximum total <i>floor area</i>	140 m ²
Lodges:	
Maximum <i>building height</i>	9 m
Maximum <i>building footprint area</i>	1100 m ²
Accessory buildings or structures:	
Maximum <i>building height</i>	4.6 m
Maximum total <i>floor area</i>	65 m ²
Maximum total <i>lot coverage</i>	20%

Land Use Regulations:	
Maximum number of <i>single-family dwellings</i> per <i>lot</i>	1
Maximum total number of <i>single-family dwellings</i> per <i>zone</i>	1.25 per 2 ha
Minimum <i>setback</i> from <i>minor stream</i> for all <i>uses</i>	15 m

Minimum <i>setback</i> from <i>major stream</i> for all <i>uses</i>	30 m
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4.91.6 Distribution of *development*:

- 1) This *zone* shall be divided into sub-*zones* as shown in Tables 1 and 2 in this section. The *uses* of land permitted under subsections 4.91.2 and 4.91.3 are permitted in the sub-*zones* as shown on Schedule A, in accordance with Tables 1 and 2. The base densities are shown in Table 2. If the *amenities* defined in this section are provided, the densities in Table 1 shall apply. For certainty, Table 1 or Table 2 shall apply, provided that the overall density set out in subsection 4.91.5 shall not be exceeded.
- 2) If all of the *amenities* defined in subsection 4.91.1 are provided, a density bonus of 22 *cabins*, 12 *lodge* bedrooms and 11 *recreational vehicle camping sites* is permitted. The units shall be sited in the sub-*zones*, as should on Schedule A, in accordance with the distribution of units in Table 1.
- 3) The units shown in Table 1 may be transferred from one sub-*zone* to another sub-*zone*, provided the number of units in any sub-*zone* does not increase or decrease by more than 20% and the total number of *residential units* does not increase beyond the total number specified in Table 1.
- 4) If all of the *amenities* defined in subsection 4.91.1 are not provided, then the density permitted within the CRCD *zone* shall be sited in the sub-*zones* as shown on Schedule A, in accordance with the distribution of units in Table 2.
- 5) The units shown in Table 2 may be transferred from one sub-*zone* to another sub-*zone*, provided that the number of units in any sub-*zone* does not increase or decrease by more than 20% and that the total number of *residential units* does not increase beyond the total number specified in Table 2.
- 6) For the purposes of calculating the overall number of *residential units* permitted in this *zone*, the number of *cabin* units, *lodge* bedrooms and *recreational vehicle camping sites* have been converted to *residential units* at the rates specified in the definition of *residential unit equivalent* above.

Table 1: Number of *residential units* permitted without bonusing for *amenities*

SUB-ZONE	UNITS							
	SINGLE-FAMILY DWELLING		CABIN		LODGE		RECREATIONAL VEHICLE	
	UNITS	R.U.	UNITS	R.U.	BEDROOMS	R.U.	SITES	R.U.
CRCD1			4	1	16	2	19	3.3
CRCD2			16	4				
CRCD3	24	24						

CRCD4			18	4.7				
CRCD5	27	27						
CRCD6					16	2		
CRCD7			4	1				
SUB-TOTAL	51	51	42	10.7	32	4	19	3.3
TOTAL	69 (R.U.)							

Table 2: Number of residential units permitted by bonusing for amenities provided

SUB-ZONE	UNITS							
	SINGLE-FAMILY DWELLING		CABIN		LODGE		RECREATIONAL VEHICLE	
	UNITS	R.U.	UNITS	R.U.	BEDROOMS	R.U.	UNITS	R.U.
CRCD1			6	1	22	2	30	3.3
CRCD2			24	4				
CRCD3	24	24						
CRCD4			28	4.7				
CRCD5	27	27						
CRCD6					22	2		
CRCD7			6	1				
SUB-TOTAL	51	51	64	10.7	44	4	30	3.3
TOTAL	69 (R.U.)							

4.92 Country Residential Comprehensive Development 2 Zone (CRCD2)

This *zone* provides for low-density *development* of large parcels intended for residential and/or recreational *use* without the provision of water, sewer, sewage disposal, drainage or fire protection services by the Regional District. The natural setting and environmental features will be protected and preserved through large *lot* sizes, low density and limited natural vegetation removal. (see Bylaw No. P1312)

4.92.1 Permitted principal uses:

- 1) *Residential use*

4.92.2 Permitted accessory uses:

- 1) *Accessory buildings and uses*
- 2) *Home occupations*

4.92.3 Conditions of use:

- 1) *Residential use* is limited to *single-family dwellings* and *manufactured homes*.
- 2) *Single-family dwellings* and *manufactured homes* are equal to 1.0 residential unit.
- 3) A second *dwelling unit* of no more than 70 square metres is equal to 0.25 residential unit.

4.92.4 Lot development regulations:

Lot Regulations:	
Minimum <i>lot area</i>	2 ha
Minimum <i>lot width</i>	100 m
Maximum <i>lot coverage</i>	5%

Construction Regulations:	
Principal buildings:	
Maximum <i>building height</i>	10.5 m
Minimum front <i>setback</i>	15 m
Minimum side <i>setback</i>	9 m
Minimum rear <i>setback</i>	4.5 m
Accessory buildings:	

Maximum <i>building height</i>	6 m
<i>Graduated height</i>	0.3 m for each additional 1.2 m in side and rear <i>setbacks</i>
Minimum front <i>setback</i>	15 m
Minimum side <i>setback</i>	5 m
Minimum rear <i>setback</i>	5 m

Land Use Regulations:	
Maximum number of <i>lots</i>	26
Maximum density	1.25 <i> dwellings</i> per 2 ha
Minimum <i>setback</i> from <i>minor stream</i> for all uses	15 m
Minimum <i>setback</i> from <i>major stream</i> for all uses	30 m